

GENERAL NOTES

These drawings are to be read in conjunction with accompanying Project and General Specifications, Engineers, Soil Report etc where applicable. All dimensions and levels are to be checked and verified by the Owner/Builder, and any discrepancies in the documents must be resolved before ordering or commencement of any works.

These drawings are not to be scaled. Use written dimensions only.

CODES AND REGULATIONS

All work and materials shall conform to current Australian Standards, and to the Building Code of Australia.

The builder shall confirm in all respects to local council requirements, the B.C.A and relevant S.A.A.

STRUCTURAL STEEL

All structural steel shall be mild steel to AS3678 and designed in accordance with AS4100 unless otherwise noted on drawings. Structural Steel hollow sections shall be cold formed steel, manufactured to AS1163 having yield strength of 350 Mpa and designed in accordance with AS1538.

All exposed steelwork to be hot dipped galvanised to S.A.A.

TIMBER

Timber used in construction is to conform with the applicable current Australian standards.

Design of timber structures is in accordance with AS 1720.

Timber structures not located in an area subject to seismic activity or snow loads and where the design wind velocity calculated under AS 1170.2 does not exceed 42m/s shall be constructed in accordance AS1684.2.

All timber framing to comply with AS1684.

BRICKWORK

Clay bricks shall be used in accordance with AS 3700 and shall a minimum compressive strength of 30 Mpa. Mortars shall be mixed in proportions of 1 part portland cement, 1 part hydrated lime or lime putty and 6 parts fine aggregate volume batched. To all brick walls provide 3mm stainless steel ties placed not further apart then 460mm x 610mm centres sloping downwards to the outside.

Provide Articulation or Expansion Joints at 6.0m ctrs max. and not exceeding 3.0m from any corner, and as per soil report recommendations.

GLAZING

All glazing shall be carried out in accordance with AS 1288. All glass sliding doors shall be clearly marked with safety markings. All framed glazing where the lowest sight line of the glazing panel is less than 500mm from the highest abutting finished floor level shall be Grade A safety glazing material in accordance with AS 1288 except that ordinary annealed glass may be used as follows:

Maximum glazing panel area

Up to and including 0.1 sq.m

Up to and including 0.3 sq.m

Up to and including 2.0 sq.m

All glazing to be standard nominal thick clear annealed unless shown otherwise on elevations.

Provide light and ventilation to the requirements of the B.C.A.

STEPS

All steps are to have a minimum tread width of 250mm and a maximum riser height of 190mm.

Selected balustrade to stairs or steps where required, 1000mm above landing min. 900mm above steps.

WET AREAS

To all wet areas provide ceramic tiles bonded to fully compressed fibre cement sheets or approved similar, to walls to a height not less than 1800mm around shower recesses measured from the lowest point of the shower base, and not less than 300mm above the rim of the bath, vanity, sinks and troughs.

Waterproofing of wet areas to comply with AS3740.

INSULATION

Unless noted otherwise, the following insulation is to be provided for the following types of floor:

Tiled Roof : Refer to energy rating report.

Ext.Walls : Refer to energy rating report.

Any sarking type material must have a flammability index of not more than 5.

SLAB

Provide cavity flashing from internal frame to external brickwork with bottom course weep holes @1000mm ctrs. *For slab on ground*.

Provide 75 x 110 G.I. Grilled vents @ 1.5m ctrs to sub-floor external wall. *For timber/concrete floor on strip footings.*

SMOKE ALARMS

Smoke alarm detectors, hard wired to switch board to conform with AS 3786.

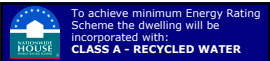
THERMAL PERFORMANCE

Proposed dwelling must be constructed to minimise air leakages via roof, external walls, floos and openings such as windows, doors and the like.

Drafts must be restricted via exhaust fans, chimneys, flues,openable windows and other such openings must be fitted with a seal where practical to restrict air infiltration. (Seals must be constructed from a foam or rubber compressible strip, fibrous seal or the like).

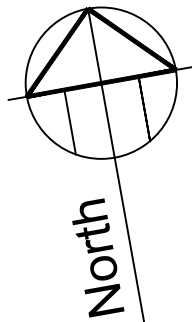
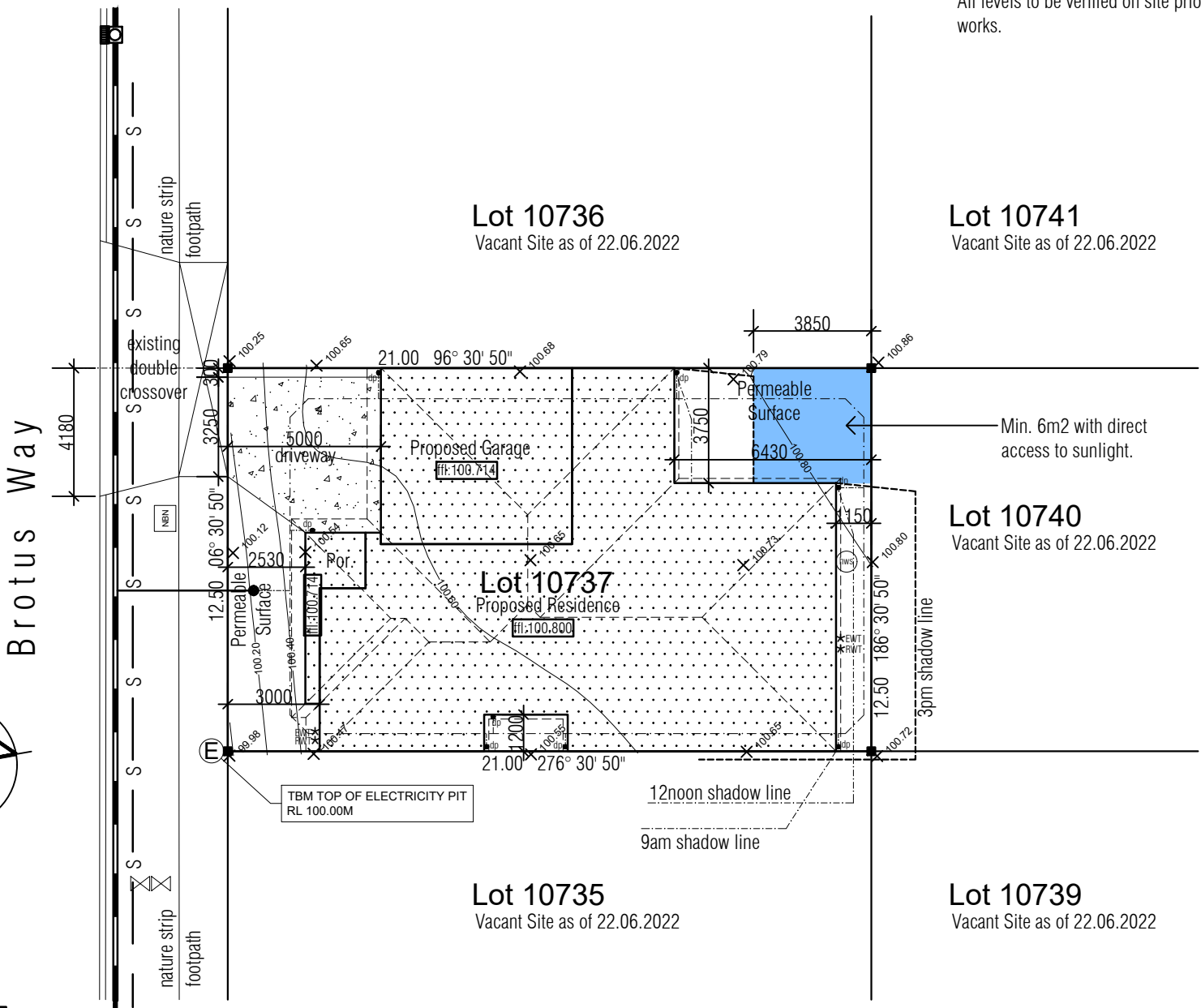
When servicing a conditioned space, all roof lights must be sealed or have the capability of being sealed.

All windows are assumed to meet AS2047 (Clause 2.1.3.5) and AS4420.4 on air infiltration. Check before ordering.



SOIL CLASSIFICATION: Refer to Soil Test by others.

All levels to be verified on site prior to commencement of any building works.



BUSHFIRE REQUIREMENTS
the site is not in a designated bushfire prone area and therefore is not subject to bushfire construction requirements.

PLEASE NOTE:
A minimum 2m high steel fence is to be provided to the full extent of the title boundaries throughout the duration of construction works.
Access to the construction area is to be restricted throughout the duration of works.

SITE AREAS:
SUBJECT SITE: 263 SQ.M
COVERED AREA: 179.42 SQ.M
SITE COVERAGE: 68.22%
SITE PERMEABILITY: 60.53 SQ.M

PLEASE NOTE:
Proposed dwelling must incorporate dual plumbing for the use of recycled water in toilet flushing and garden watering.


STORMWATER DRAINAGE REQUIREMENTS

- To be in accordance with BCA Part 3.5.2, AS/NZS 2179.1, AS 1273 for UPVC.
- All underground stormwater drains to be minimum 100mm. Class 6 UPVC at 1 in 100 minimum grade and be provided with the following coverage
 - 100mm under soil - 50mm under paved or concrete areas - 100mm under concrete areas subject to light traffic.
- All gutters are to be Type B or E with a minimum grade of 1 in 100 to downpipes.
- All downpipes to be a minimum 90mm diameter, metal or UPVC and connect to the underground stormwater drainage system.

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| Date: | Issue: | Amendment: | Date: | Issue: | Amendment: |
|---------|--------|---|-------|--------|------------|
| June 22 | A | ISSUE FOR DEVELOPERS APPROVAL | | | |
| Aug 22 | B | ISSUE FOR CONSTRUCTION | | | |
| Aug 22 | C | AMENDED AS REQUESTED BY THE BUILDING SURVEYOR | | | |
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THIS DOCUMENT IS THE SUBJECT OF -
BUILDING PERMIT NUMBER: C85-U 66127494348341282
ISSUED DATE: 26/08/2022

FOR INSPECTIONS & ENQUIRIES CALL (03) 9304 4412

Lot 10737 Brotus Way,
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PO Box 3379,

Caroline Springs 3023

P: 9217 6405 F: 9217 6444

Scale: 1:200

Date: August 2022

Job.No: 3069

Drawing Title:

site plan

NOTE: Refer to Energy Rating Report for Insulation details.

All WC doors with clearance <1200 from pan to be readily removable, sliding or hinged outwards.

CJ : Denotes Control Joint to full height of brickwork. All joints to conform to note CN9 of the brickwork and concrete association. Information contained in the soil report regarding control joints takes precedence. Control joint width must not be less than 10mm.

NOTE:
Pliable building membrane to comply with AS4200.1 and to be installed to AS4200.2 in accordance with Clause 3.8.7.2 of the NCC 2019.

NOTE: Roof stormwater drainage to comply with AS3500.3.

LEGEND

METER BOX

GAS METER

EXTERNAL WATER TAP LOCATION

RECYCLED WATER LOCATION

700mm X 560mm WIDE MANHOLE

LIFT OFF HINGE DOOR

DOWNPIPE

200mm HIGH BULKHEAD, UNLESS NOTED OTHERWISE (Nominal)

450mmH x 450mmW NICHE AT 1100mm AFL, TO SHOWERS (UNLESS NOTED OTHERWISE).

RAKED CEILING

SKYLIGHT - 450mm DIAMETRE

RAIN WATER HEAD

NBN/PCD EXTERNAL CONNECTION POINT, MAX. 700mm IN HEIGHT.

NOTE:
Unless dimensioned door(s) and window(s) are to be centred to rooms and suit brick nominals (+ or - 50mm).

NOTE:
Provide 50mm slab recess to shower bases.

NOTE:
Provide Aluminium framed flyscreens and keyed locks to all openable windows.

LVL lining detail Scale 1:10

typical recessed shower detail scale 1:20

WET AREA DETAILS

All building elements in wet areas within a building must comply with AS3740.

Floors: All bathroom and laundry floors are to be cement sheet with waterproof membrane and tiles over. Provide waterstop to the extremity of wet area floor where openings occur in walls. Shower floors are to utilize preformed bases.

Walls: Shower walls are to be cement sheet with waterproof membrane and tiles over to a height of 1.8m. Where basin, baths and the like are located, provide a waterproof membrane with tiles to a height of not less than 150mm above the vessel.

Kitchen splashbacks: Waterproof membrane is to be provided to walls where kitchen sink and stove top is located, a 4mm toughened grade A safety glass splashback is to be installed over.

Date: June 22

Issue: A

Amendment: ISSUE FOR DEVELOPERS APPROVAL

Date: Aug 22

Issue: B

Amendment: ISSUE FOR CONSTRUCTION

Date: Aug 22

Issue: C

Amendment: AMENDED AS REQUESTED BY THE BUILDING SURVEYOR

Opes

BUILDING SOLUTIONS

THIS DOCUMENT IS THE SUBJECT OF -

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ISSUED DATE: 25/08/2022

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Date:

Issue:

Amendment:

Date:

Issue:

Amendment:

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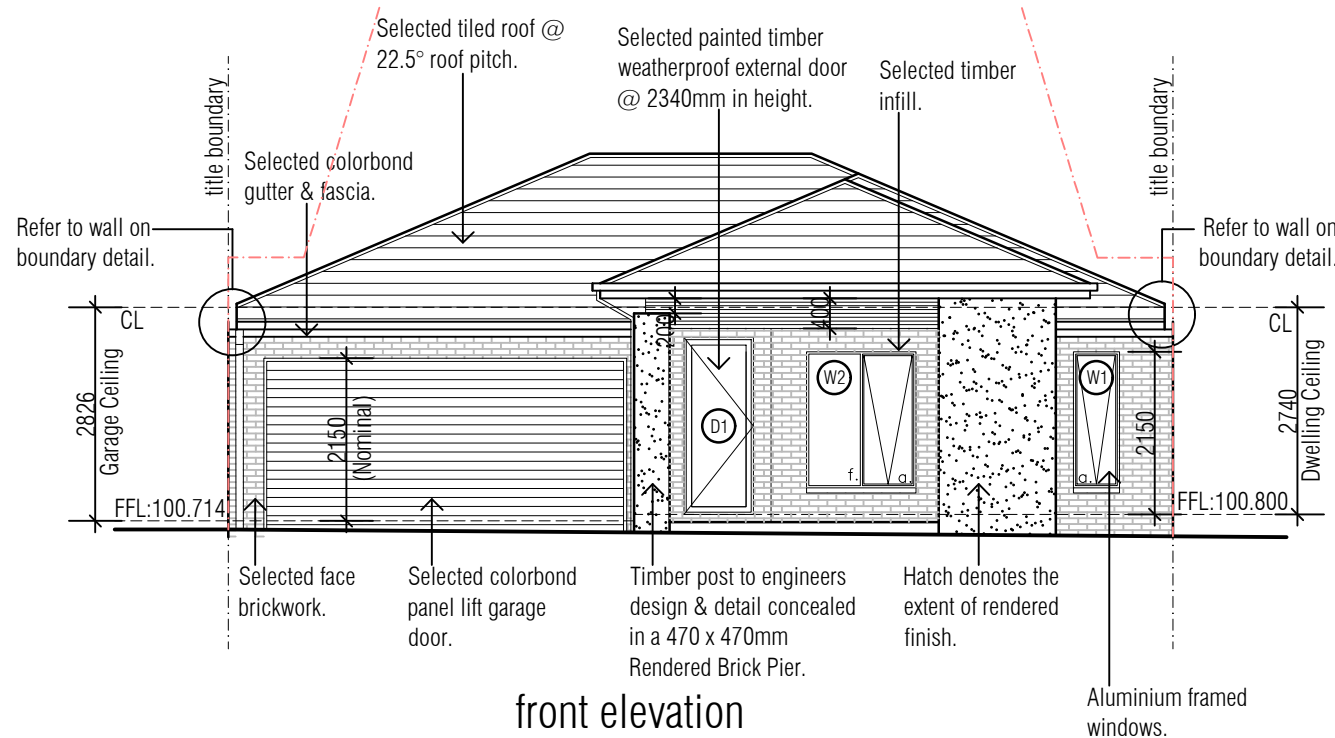
Scale: 1:100

Date: August 2022

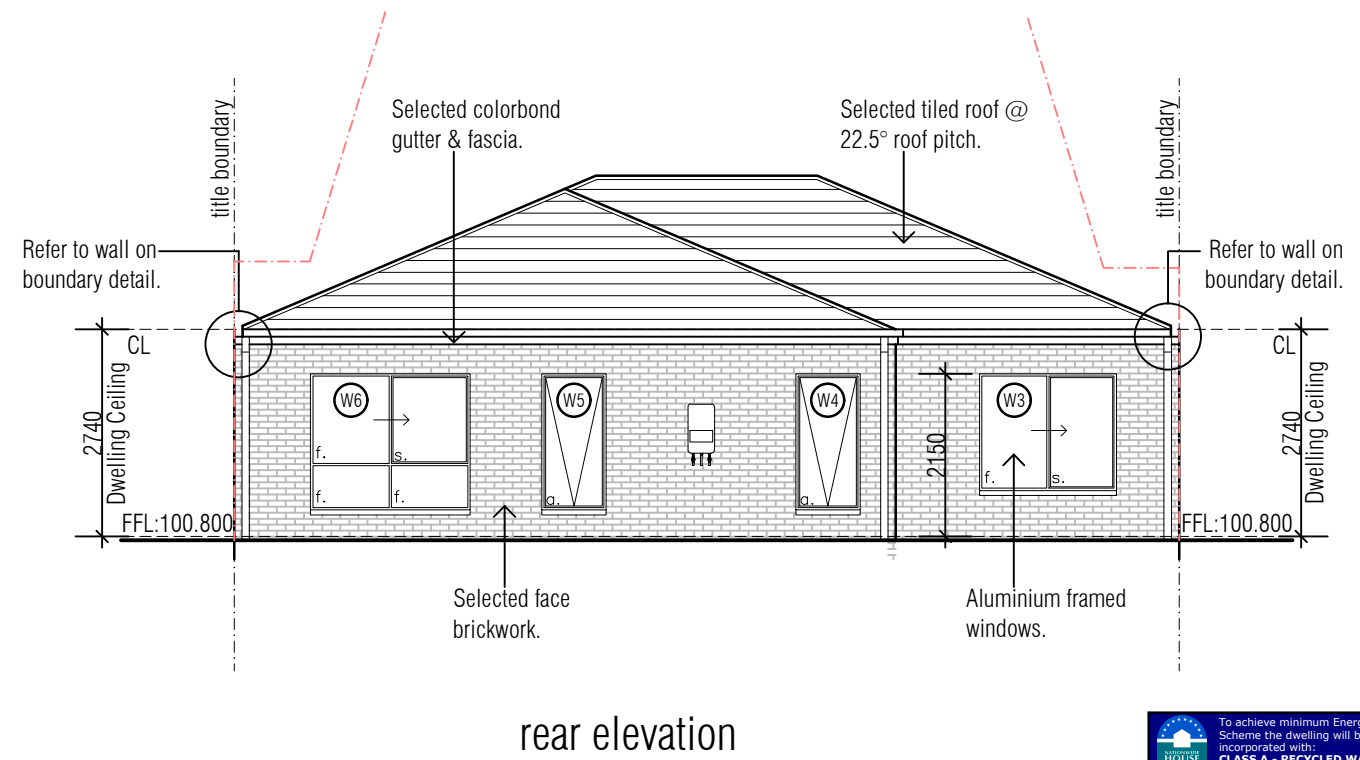
Job.No: 3069

Drawing Title:

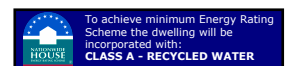
floor plan



front elevation



rear elevation



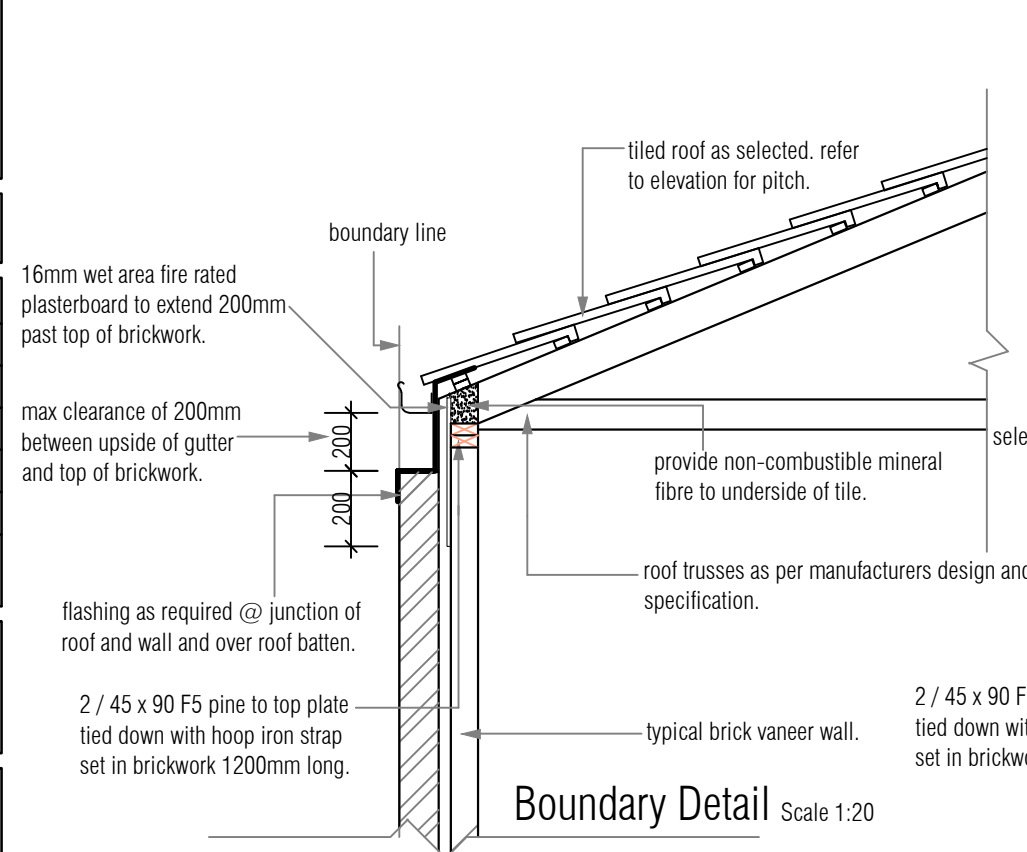
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Control joints not to have a width less than 10mm.

NOTE: Roof stormwater drainage to comply with AS3500.3.

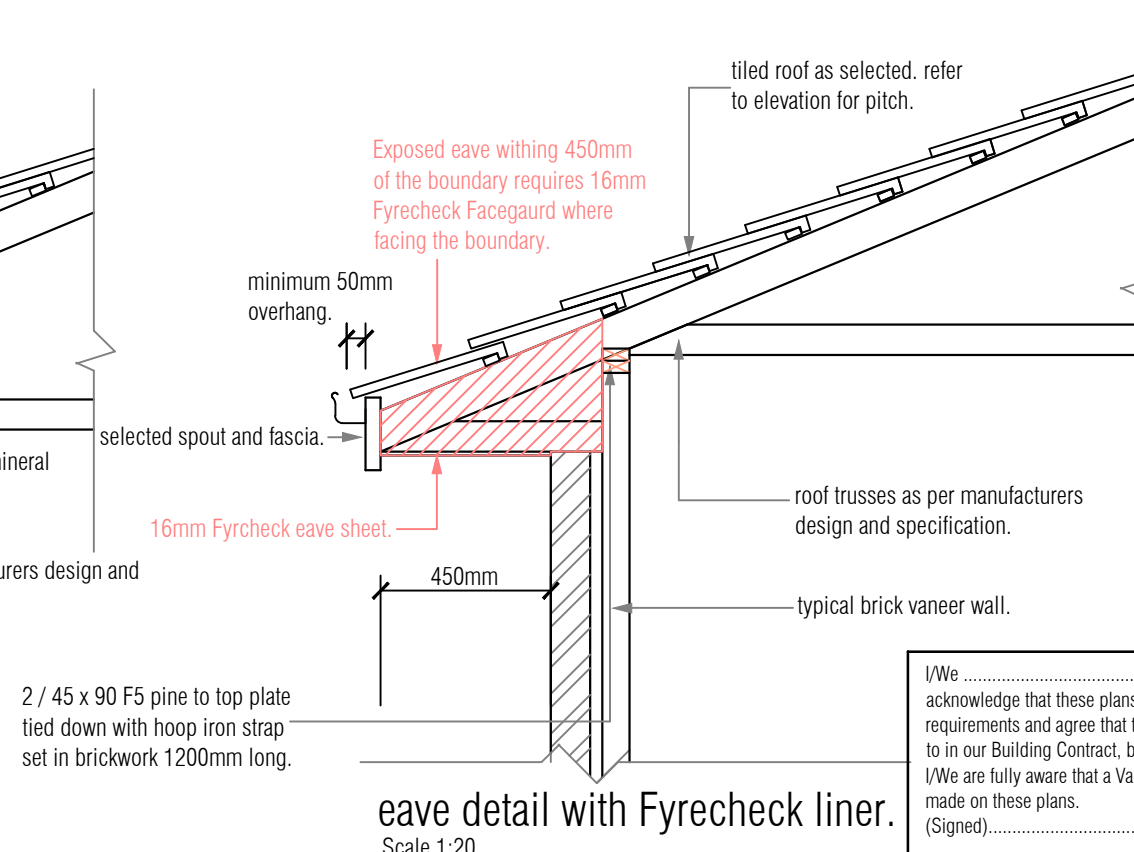
| LEGEND | |
|--------|---------------------|
| CL | CEILING LINE |
| FL | FLOOR LINE |
| S | SLIDING WINDOWS |
| A | AWNING WINDOWS |
| F | FIXED GLASS WINDOWS |
| | OBSCURED GLAZING |

NOTE:
Pliable building membrane to comply with AS4200.1 and to be installed to AS4200.2 in accordance with Clause 3.8.7.2 of the NCC 2019.

THRESHOLDS
Thresholds to Porch will not exceed 230mm for doors leading to external areas (Porch, Verandah & Laundry Door).



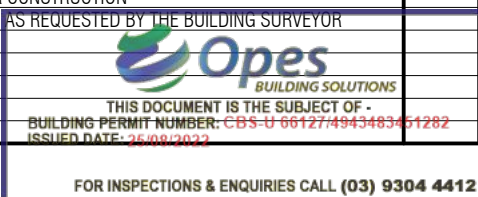
Boundary Detail Scale 1:20



eave detail with Fyrecheck liner. Scale 1:20

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Scale: 1:100

Date: August 2022

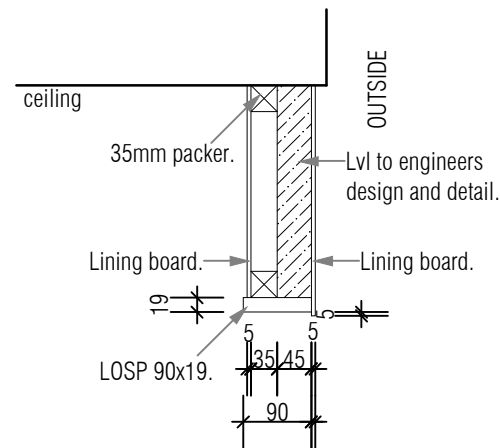
Job.No: 3069

Drawing Title:

elevations

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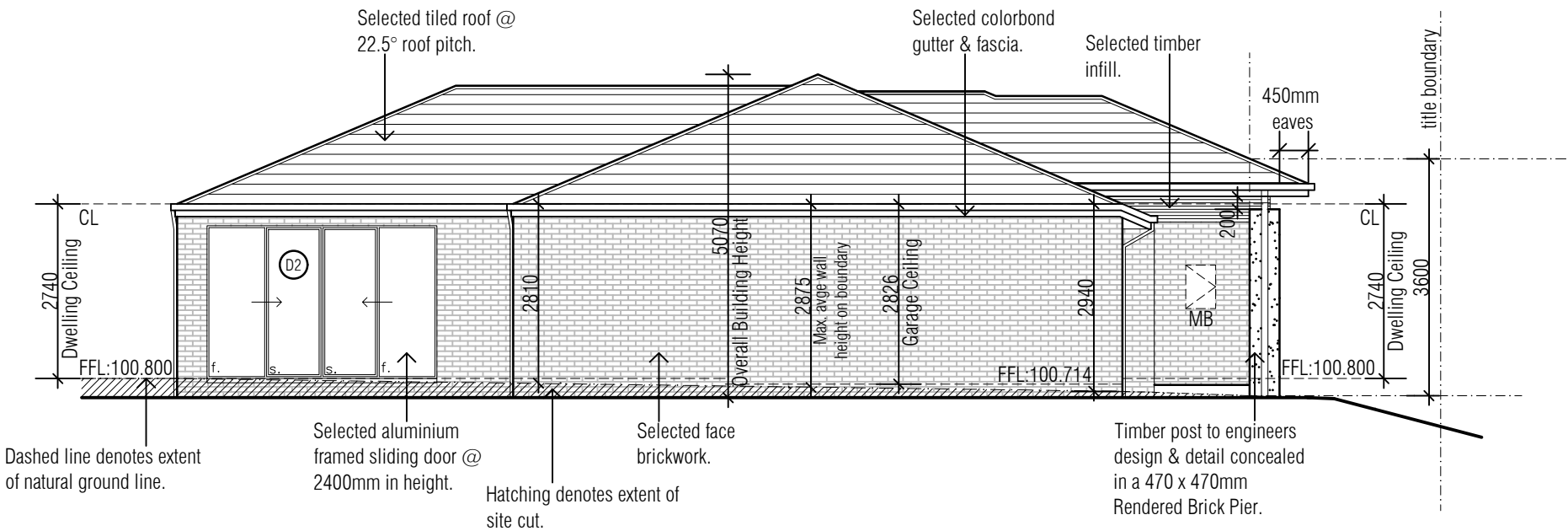
NOTE: Roof stormwater drainage to comply with AS3500.3.



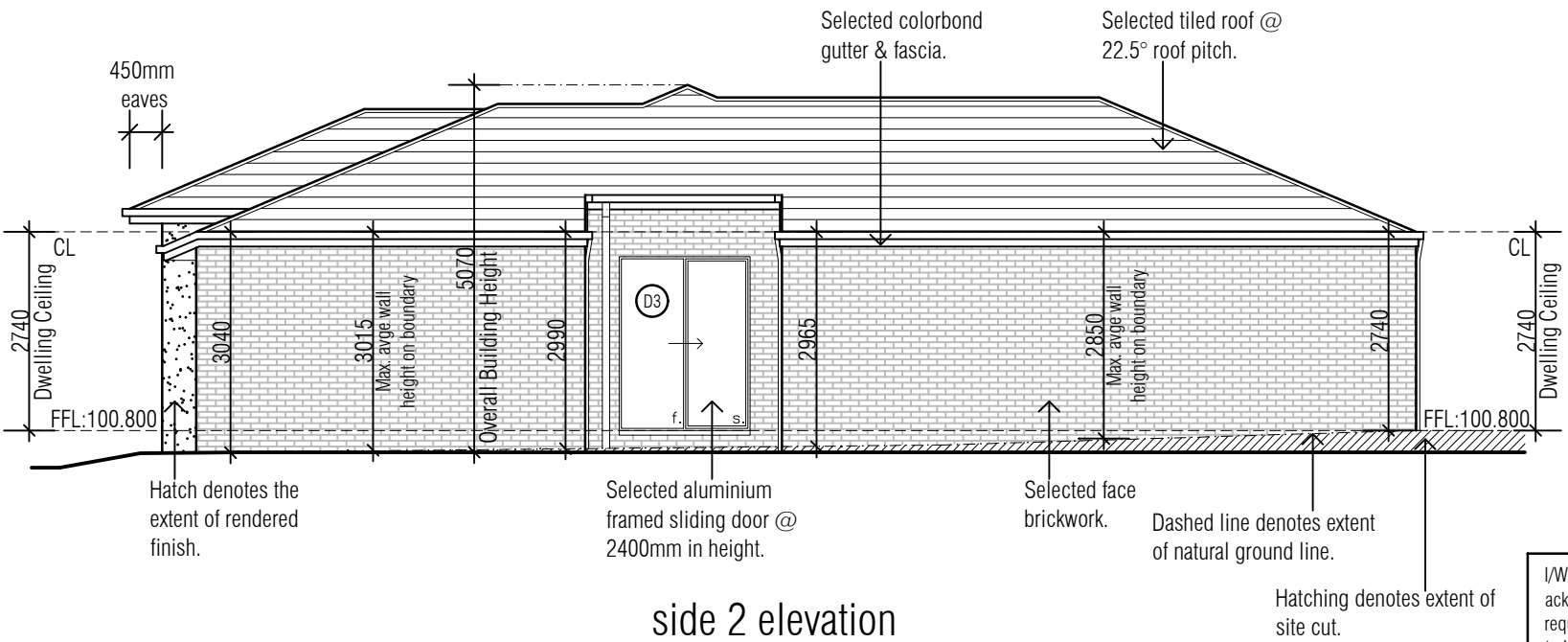
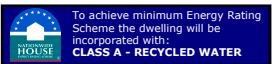
LVL lining detail Scale 1:10

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side 1 elevation



side 2 elevation

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ISSUED DATE: 26/08/2022

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Scale: 1:100

Date: August 2022


Job.No: 3069

Drawing Title:

elevations

NOTE:
Sarking to be provided as per the requirements outlined in table 3.5.2.2. of the NCC 2019.



 To achieve minimum Energy Rating Scheme the dwelling will be incorporated with:
CLASS A - RECYCLED WATER

GENERAL NOTES

All windows adjacent to baths within 1.5m and all sliding doors to be safety glass to AS.1288.

Floor to ceiling heights may alter due to floor covering materials chosen by owner, builder or contractor.

All wc doors to have lift off hinges.

If the threshold sill of a door is greater than 190mm above the finished surface of the ground to which the doorway opens, a landing shall be provided no less than the width of the doorway.

Glass to windows and doors shall be fitted in accordance with the following table and as required by the Australian Standards 1288 - 1994.


TIMBER FRAMING SCHEDULE

The sizes of timber members and types shall be in accordance with the approved working drawings, the B.C.A and A.S. 1684 - Light Timber Framing Manual. It shall generally conform of the following:

| | |
|-----------------|--------------------------|
| Top Plates | 2/90 x 45 MGP10 |
| Bottom Plates | 90 x 45 MGP10 |
| Studs up to 2.7 | 90 x 35 MGP10 @ 450 ctrs |
| Studs up to 3.0 | 90 x 45 MGP10 @ 450 ctrs |
| Jamb Studs | 90 x 45 MGP10 |

- All insulation to abut or overlap adjoining insulation or supporting members.
- Must form a continuous barrier with floors, ceilings, walls or the like that inherently contribute to the thermal barrier.
- Must not affect or effect operation of a *domestic service* or fitting.
- *Reflective insulation* must be installed with the necessary airspace between reflective side and building lining.
- *Reflective insulation* to be closely fitted to penetration and openings and adequately supported by framing members.
- *Reflective insulation* to be overlapped by 150mm or taped together.
- Bulk insulation to maintain in position and thickness other than at roof battens, pipes and cables.
- In a ceiling, where there is no bulk insulation or *reflective insulation* in the external wall beneath, the *reflective insulation* must overlap by no less than 50mm.

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|---|--|--|
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| <p>BUILDING PERMIT NUMBER: CBS-U-66127/4943483-51282</p> | | |
| <p>ISSUED DATE: 25-09-2022</p> | | |
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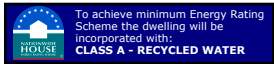
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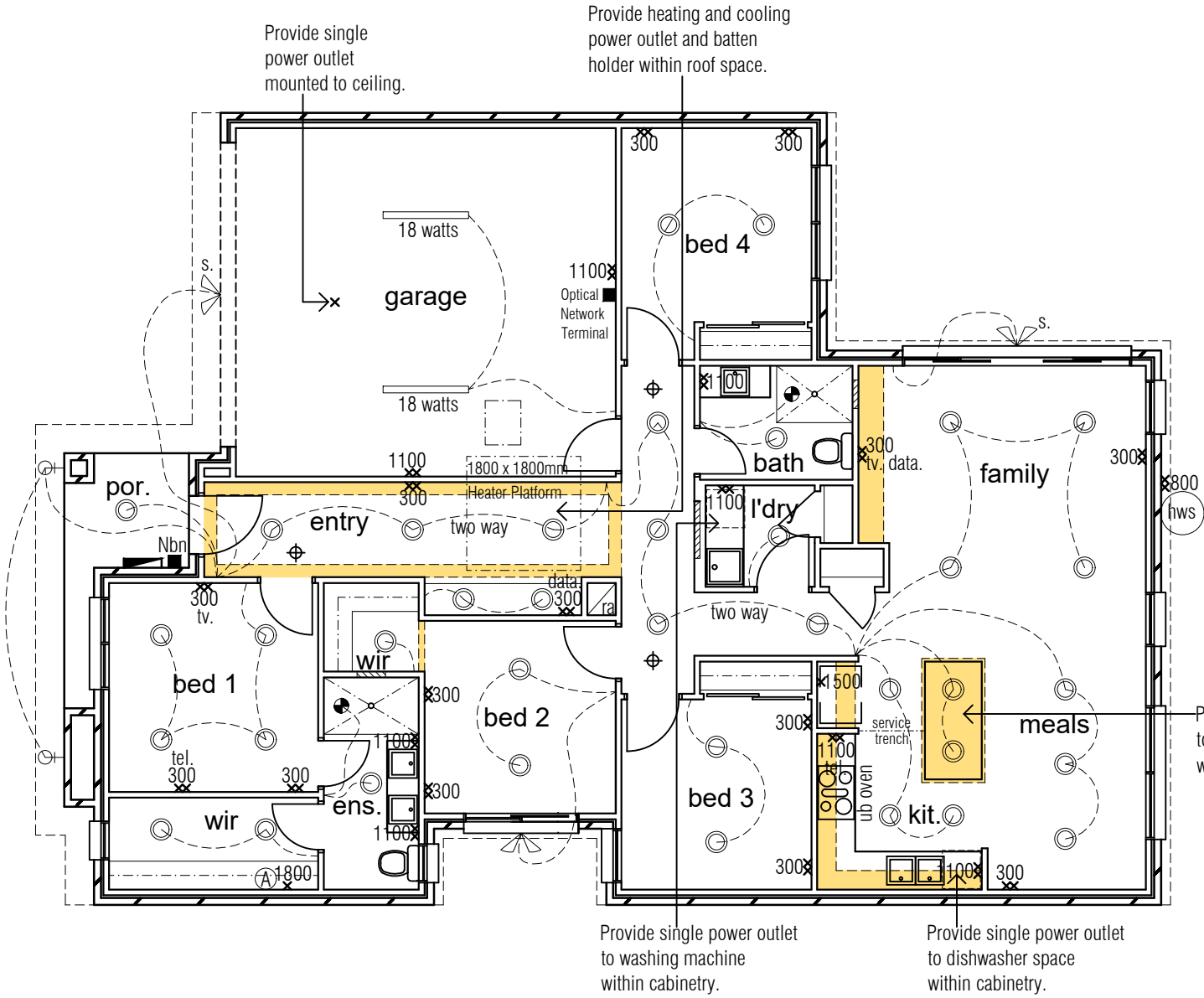
Drawing Title: section a:a



NOTE: additional to the lighting plan an allowance needs to be made for:

- a single power point to oven
- a single power point to rangehood
- a double power point in the ceiling space fro central heating & cooling system
- a batten light in ceiling space with switch near manhole

- DOWNLIGHT
- PENDANT LIGHT POINT
- BATTEN HOLDER
- BUILDERS RANGE ALARM
- EXTERNAL LIGHT (with 'S' has sensor).
- WALL LIGHT
- DECKING LIGHTS
- FLUORESCENT LIGHT
- tel TELEPHONE POINT
- tv TELEVISION POINT
- ✕ CEILING FAN
- ⊗ REFRIDGERATED COOLING & DUCTED HEATING
- DUCTED HEATER RETURN AIR (CEILING MOUNTED)
- EVAPORATIVE COOLING DUCT
- ✕✕ DOUBLE POWER POINT
- IXL 3 in 1



⊕ Smoke Detectors to comply with AS3786 and interconnected to mains in accordance with BCA-Part 3.7.5.

⊗ Exhaust Fan.
Exhaust fan flow rates as per the clause 3.8.7.3 of NCC 2019.
Bathroom or Sanitary compartment -25L/s.
Kitchen or Laundry -40L/s.
Exhaust fans to be ducted to outside air.


METRE BOX NOTE:
Metre box to be installed at a nominal height of 1100mm above FFL to the bottom of the metre box.

Note:
Heating and cooling points are indicative only. Subject to site conditions and manufacturers specs and recommendations.

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| ARTIFICIAL LIGHTING CALCULATIONS | | | | | | |
|--|---|--------------------------------|-------------------------|----------------|-------------|-----------|
| Artificial lighting to comply with NCC 2019 | | | | | | |
| The lamp power density or illumination power density of artificial lighting, excluding heaters that emit light, must not exceed the following: | | | | | | |
| (1) In a Class 1 building, 5W/m2 | | | | | | |
| (2) On a verandah or balcony attached to a Class 1 building, 4W/m2 | | | | | | |
| (3) In a Class 10 building, 3W/m2 | | | | | | |
| | LOCATION | Size m2 | Maximum wattage allowed | | | |
| | Class 1 building, 5W/m2 | 138.28 | 691.4 | | | |
| | Verandah or Balcony attached to a Class 1 building, 4W/m2 | 5.33 | 21.32 | | | |
| | Class 10 building, 3W/m2 | 35.81 | 107.43 | | | |
| Note: Artificial lighting around the perimeter of a building must: | | | | | | |
| (1) be controlled by a daylight sensor or | | | | | | |
| (2) have an average light source efficiency of not less than 40 Lumens/W | | | | | | |
| PROPOSED POWER USAGE FOR ARTIFICIAL LIGHTING | | | | | | |
| LOCATION | NO. | TYPE | WATTS | PROPOSED WATTS | TOTAL WATTS | MAX WATTS |
| RESIDENCE | 37 | DOWNLIGHTS | 10 | 370 | | |
| | 0 | BATTEN HOLDERS | 28 | 0 | | |
| | 0 | PENDANT LIGHTS | 10 | 0 | | |
| | 0 | EXHAUST FAN, HEAT & LIGHT UNIT | 13 | 0 | | |
| | | | | | 370 | 691.4 |
| PORCH/VERANDAH | 1 | DOWNLIGHTS | 10 | 10 | | |
| | 0 | BATTEN HOLDERS | 28 | 0 | | |
| | | | | | 10 | 21.32 |
| GARAGE | 0 | DOWNLIGHTS | 10 | 0 | | |
| | 0 | BATTEN HOLDERS | 28 | 0 | | |
| | 2 | FLOURESCENT TUBES | 18 | 36 | | |
| | | | | | 36 | 107.43 |
| | | | | | 416 | 820 |
| Is this electrical plan compliant? | | | | | | YES |

| Date: | Issue: | Amendment: | Date: | Issue: | Amendment: |
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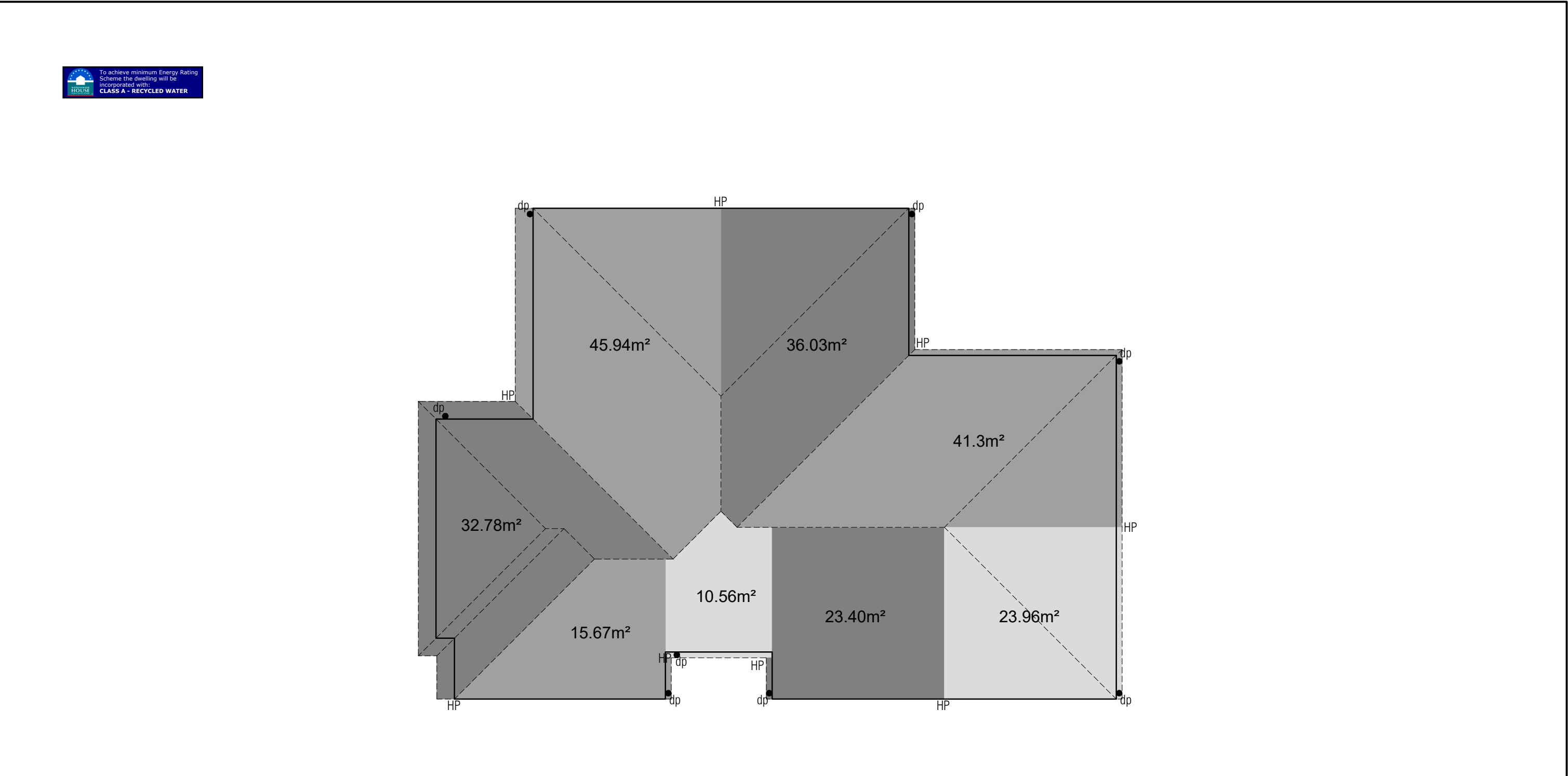
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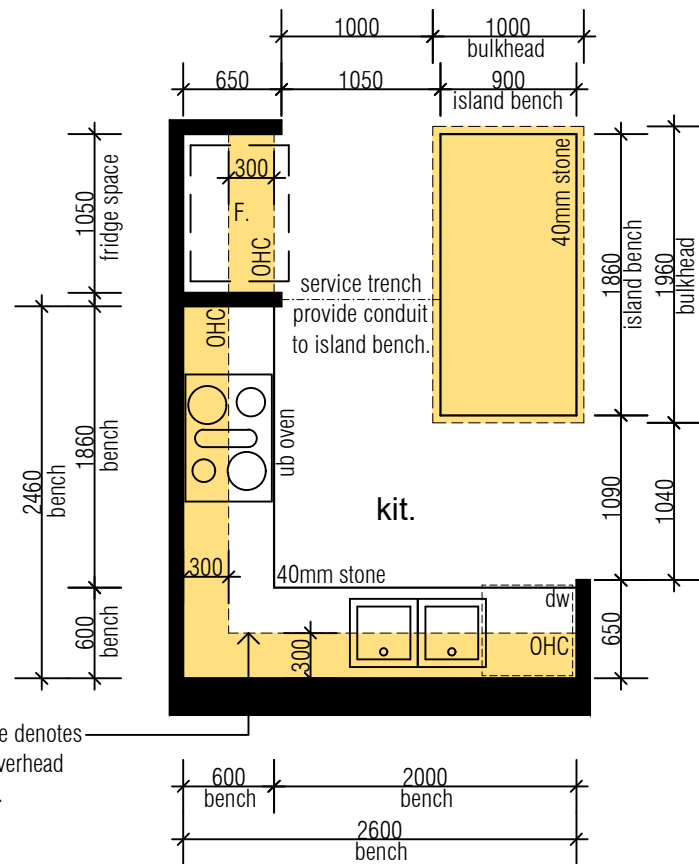
Drawing Title:

electrical layout

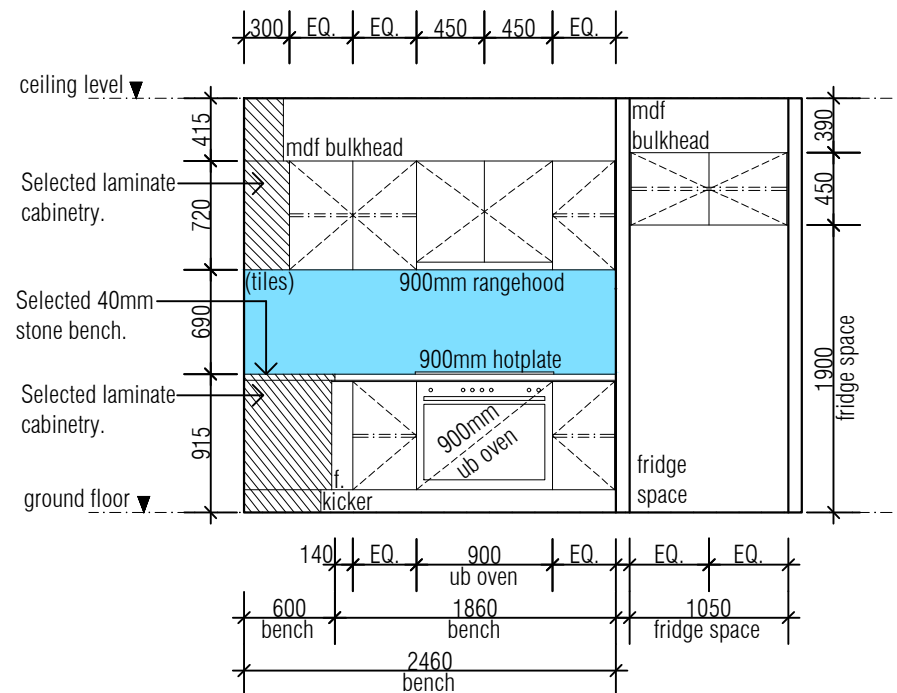


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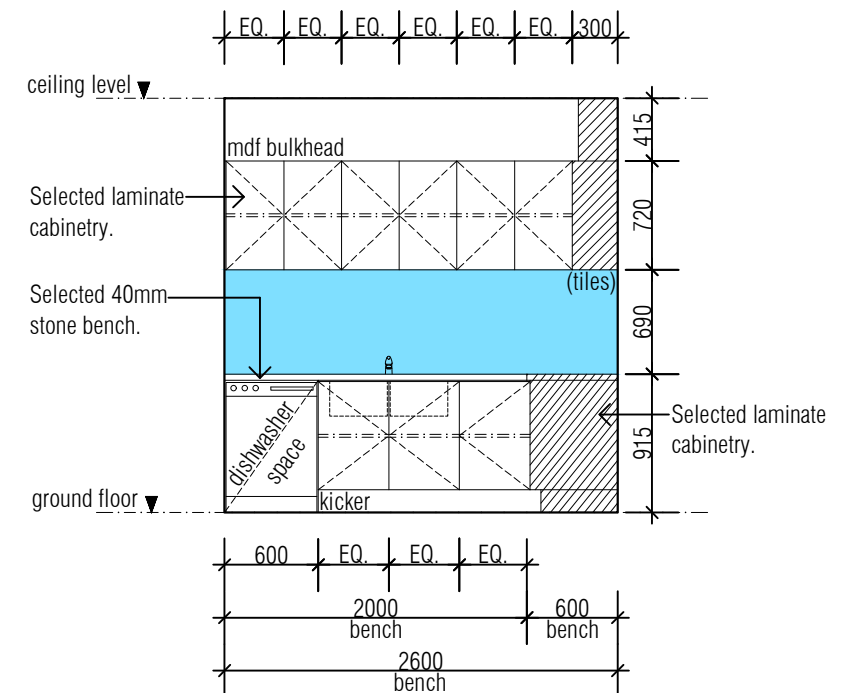
| Date: | Issue: | Amendment: | Date: | Issue: | Amendment: | Lot 10737 Brotus Way, Donnybrook ©This drawing is protected by copy-right and any breach or infringement of copy-right will result in court proceedings. | neerod designs building design & drafting service interior design DOREEN PADULA DP-AD 45173 waters edge BUSINESS CENTRE PO Box 3379, Caroline Springs 3023 P: 9217 6405 F: 9217 6444 | Scale: 1:100 | Date: August 2022 | Job.No: 3069 |
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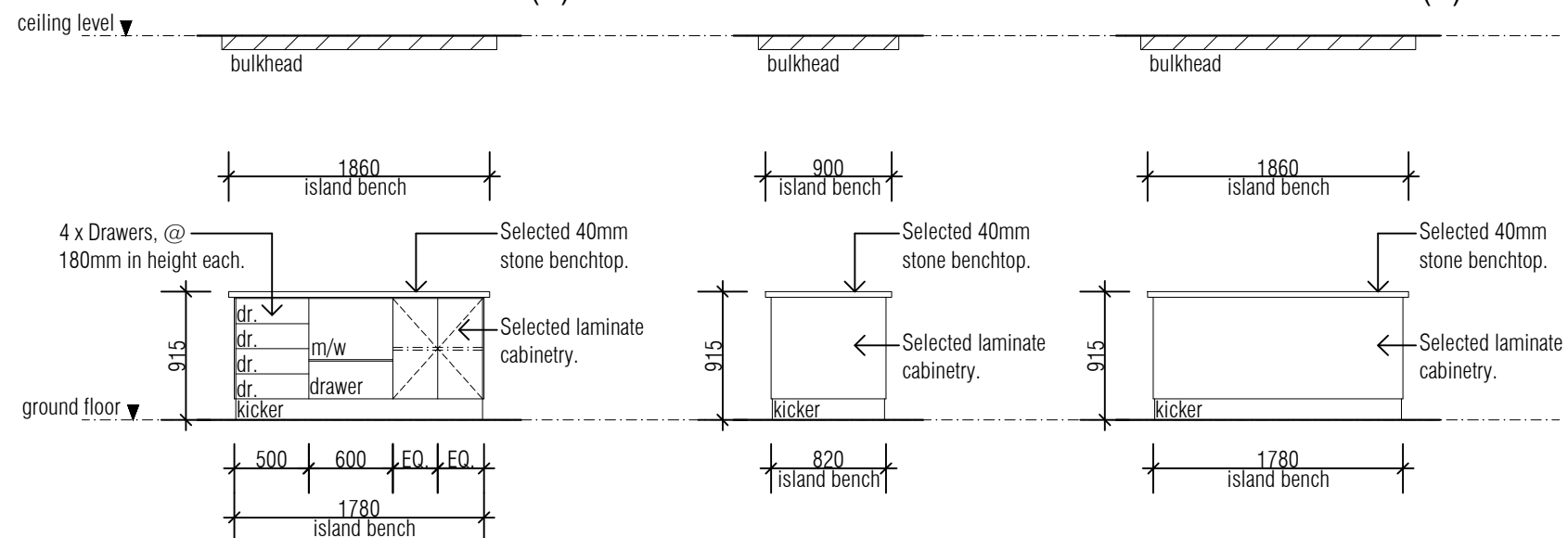
A. plan detail - Kitchen



kitchen elevation (1)



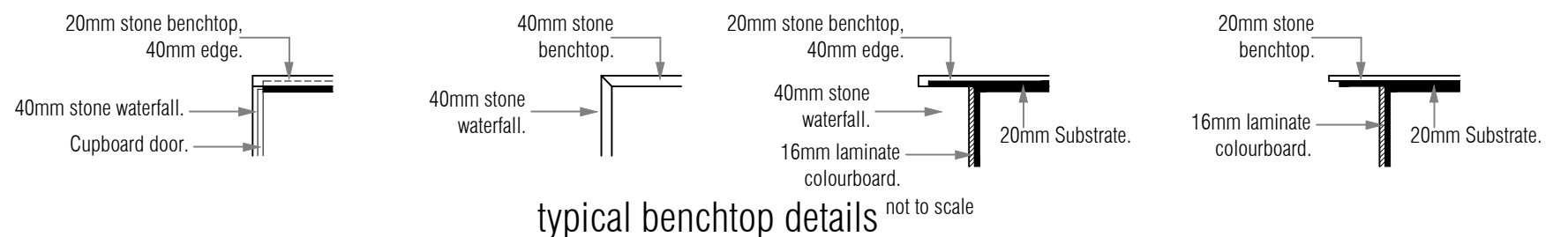
kitchen elevation (2)



kitchen elevation (3)

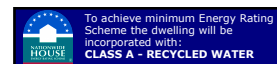
kitchen elevation (4)

kitchen elevation (5)



typical benchtop details not to scale

- NOTE: Kitchen bench 915mm high.
- NOTE: Heights are approximate only and may vary with the cabinet maker drawings.
- NOTE: Joinery elevation dimensions are nominal only and further clarification will be available via the cabinet maker. Refer to detailed cabinet maker drawings for accurate dimensions.
- NOTE: All appliances, drawers and doors to be clear of any obstructions eg. architraves, skirts etc.
- NOTE: All tile heights to be confirmed prior to any works.
- NOTE: Externally vented rangehood.

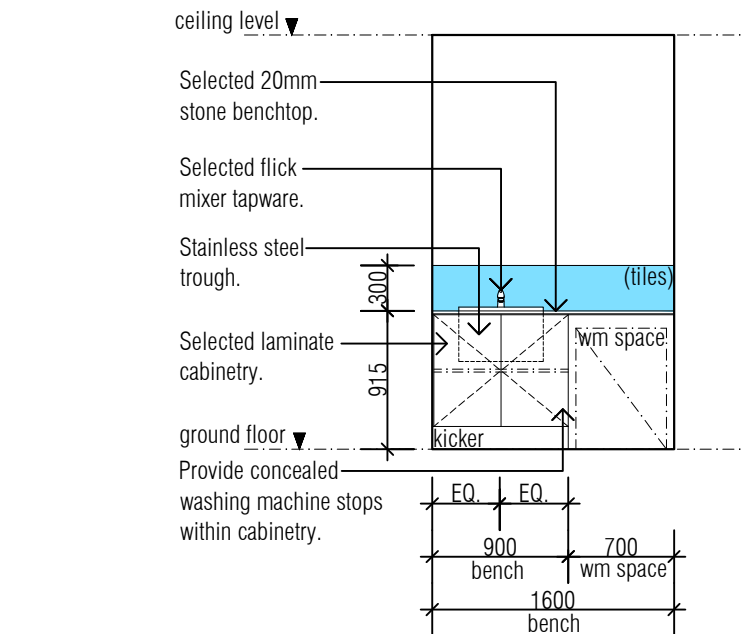


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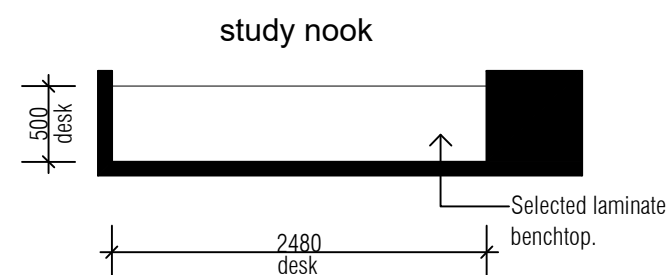
| Date: | Issue: | Amendment: | Date: | Issue: | Amendment: | neerod designs | | Scale: 1:50 | Date: August 2022 | Job.No: 3069 |
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| | | | | | | FOR INSPECTIONS & ENQUIRIES CALL (03) 9304 4412 | | Drawing Title: joinery documentation | | |
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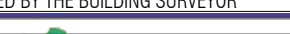
laundry elevation (1)



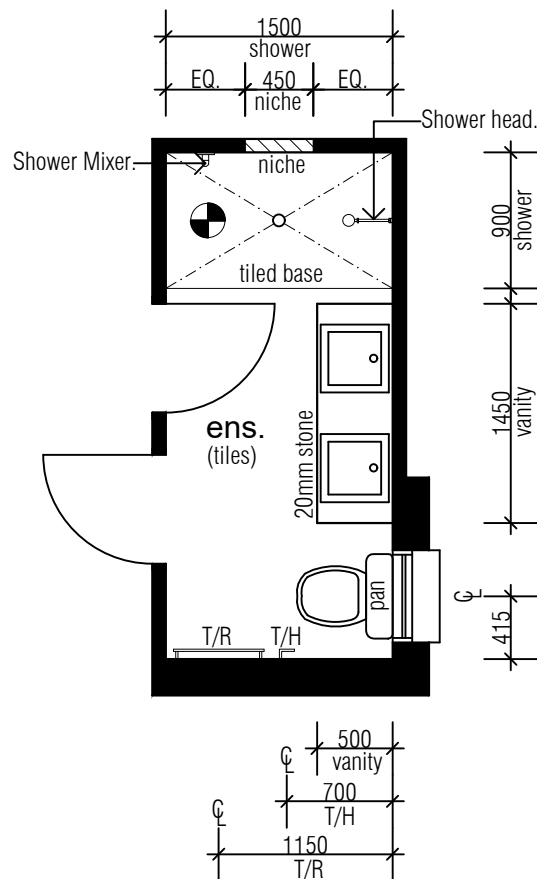
C. plan detail - Study Nook



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The diagram is a detailed architectural floor plan of a bathroom. It includes the following elements and dimensions:

- Room Dimensions:**
 - Overall width: 2100
 - Overall depth: 2000
- Fixtures and Features:**
 - Shower:** Located on the left, with a semi-frameless shower screen. Dimensions: 900 (width) x 1850 (depth). It includes a showerhead and a mixer tap.
 - Vanity:** A white vanity unit with a mirror above it. Dimensions: 1450 (width) x 800 (depth). It includes a sink, a mirror, and a storage cabinet below.
 - Toilet:** Located on the right, with a pan and a toilet paper holder (T/H).
 - Bench:** A selected 20mm stone bench is located near the toilet.
 - Storage:** A selected laminate cabinet is located near the vanity.
 - Skirting:** Tiled skirting is shown along the bottom wall.
- Dimensions and Levels:**
 - Vertical Dimensions (from ground floor to ceiling level):**
 - Shower screen height: 2000
 - Showerhead height: 1850
 - F/M (Floor to Mirror) height: 1000
 - F/H (Floor to Height) height: 600
 - Vanity height: 800
 - Mirror height: 1000
 - Total height to top of mirror: 2100
 - Horizontal Dimensions (from left to right):**
 - Shower width: 900
 - Vanity width: 1450
 - Skirting width: 415

Technical drawing of a shower area, showing a plan view and a vertical section view.

Plan View (Top):

- Overall width: 1500 (labeled "shower")
- Overall depth: 1000 (labeled "F/M")
- Niche width: 450
- Shower screen width: 1500
- Shower screen height: 1850
- Showerhead height: 2000
- Extent of tiles: 2100
- Labels: "ceiling level", "ground floor", "Semi frameless shower screen", "shower", "niche", "tiles", "F/M", "EQ."

Vertical Section View (Right):

- Showerhead height: 2000
- Shower screen height: 1850
- Extent of tiles: 2100
- Labels: "showerhead", "shower screen", "extent of tiles"

The diagram illustrates a shower area within a room. Key components and dimensions include:

- ceiling level**: Indicated by a downward arrow at the top.
- ground floor**: Indicated by a downward arrow at the bottom.
- Tiled Skirting**: A small blue rectangular area at the base of the wall.
- Semi frameless shower screen**: A vertical screen on the right side of the shower area.
- shower**: The main area, filled with blue, representing water or the shower pan.
- F/M (tiles)**: The floor area, labeled with "F/M" and "(tiles)".
- Dimensions**:
 - 900 shower**: The width of the shower area.
 - 1000 F/M**: The depth of the floor area.
 - 2000 shower screen**: The height of the shower screen.
 - 2100 extent of tiles**: The total height of the tiled area, including the skirting.

Technical drawing of a toilet room showing floor and ceiling levels, dimensions, and fixtures.

Labels:


- ceiling level
- ground floor
- pan
- T/R (Toilet Room)
- T/H (Toilet Height)
- Tiled Skirting

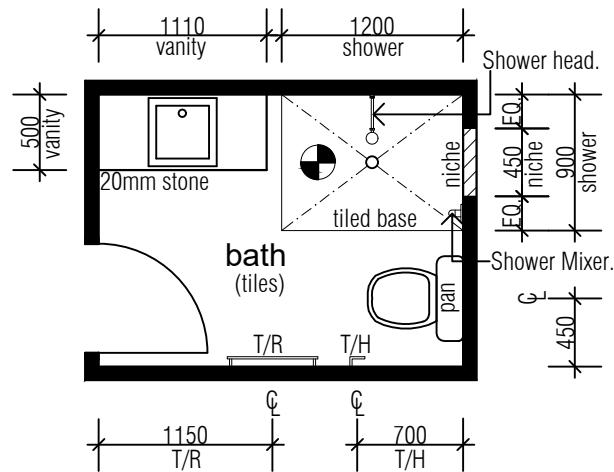
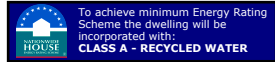
Dimensions:

- 600 T/H (Toilet Height)
- 700 T/H (Toilet Width)
- 1150 T/R (Toilet Room Width)
- 1000 T/R (Toilet Room Height)

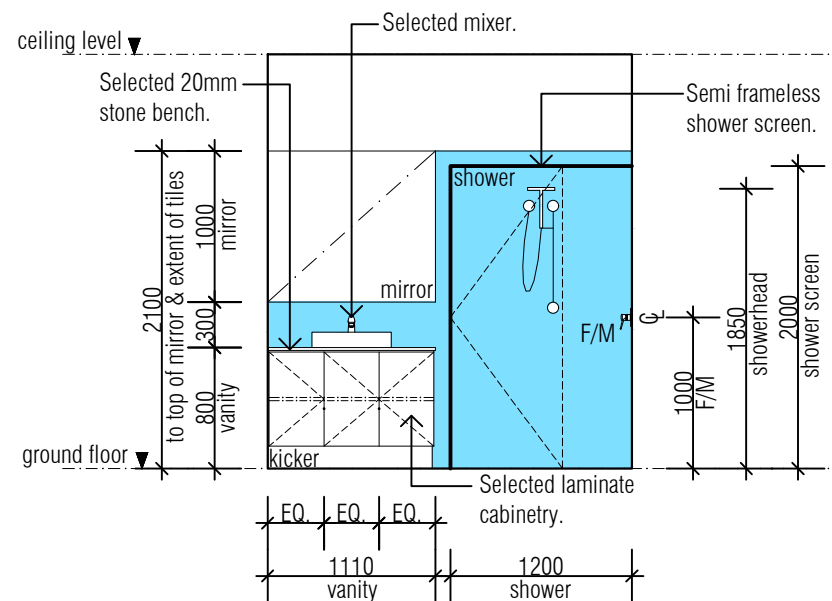
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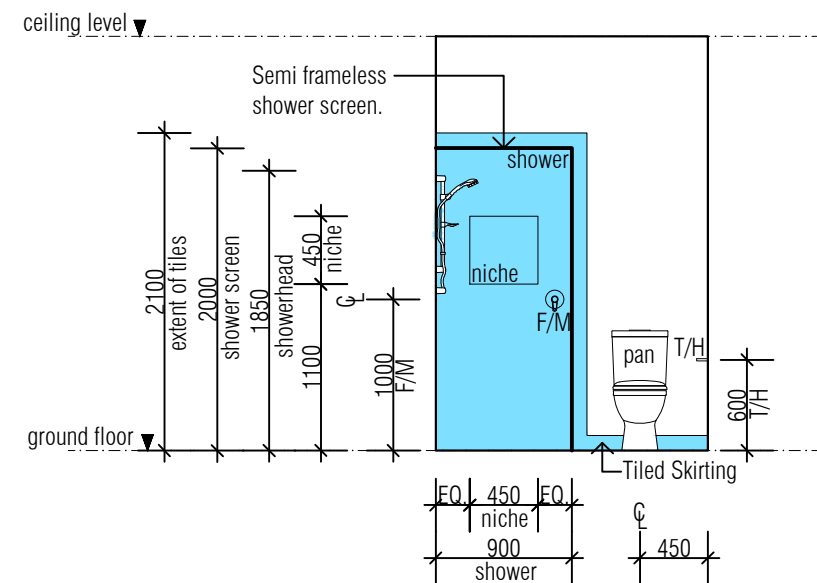
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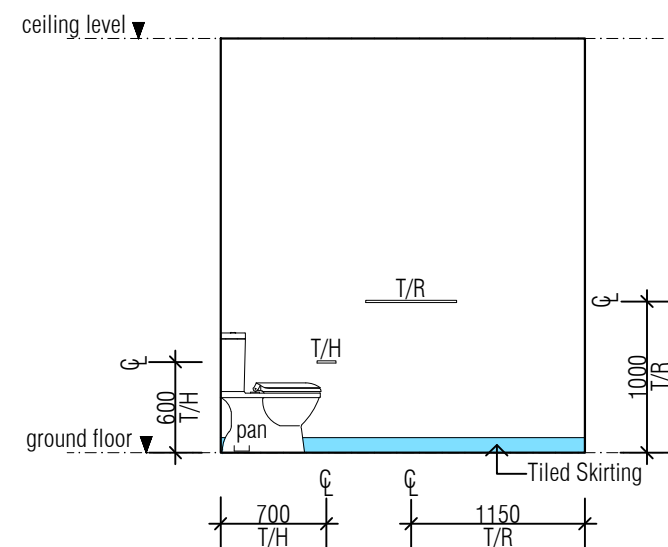
E. plan detail - Bathroom



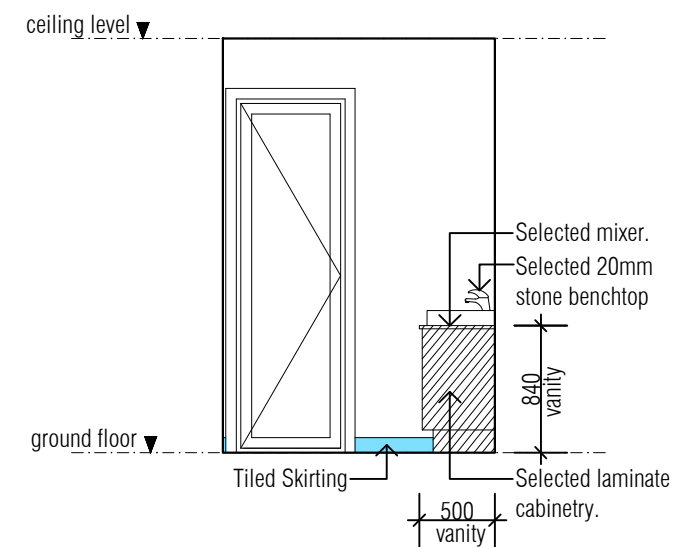
bathroom elevation (1)



bathroom elevation (2)



bathroom elevation (3)



bathroom elevation (4)

NOTE: Heights are approximate only and may vary with the cabinet maker drawings.

NOTE: Joinery elevation dimensions are nominal only and further clarification will be available via the cabinet maker. Refer to detailed cabinet maker drawings for accurate dimensions.

NOTE: All tiles heights to be confirmed prior to works.

NOTE: Vanity unit heights 800-900mm high.

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building design & drafting service
interior design
DOREEN PADULA DP-AD 45173

waters edge BUSINESS CENTRE
PO Box 3379,
Caroline Springs 3023
P: 9217 6405 F: 9217 6444

Scale: 1:50

Date: August 2022

Job.No: 3069

Drawing Title:

joinery documentation