

GENERAL NOTES

These drawings are to be read in conjunction with accompanying Project and General Specifications, Engineers, Soil Report etc where applicable. All dimensions and levels are to be checked and verified by the Owner/Builder, and any discrepancies in the documents must be resolved before ordering or commencement of any works.

These drawings are not to be scaled. Use written dimensions only.

CODES AND REGULATIONS

All work and materials shall conform to current Australian Standards, and to the Building Code of Australia. The builder shall confirm in all respects to local council requirements, the B.C.A and relevant S.A.A.

STRUCTURAL STEEL

All structural steel shall be mild steel to AS3678 and designed in accordance with AS4100 unless otherwise noted on drawings. Structural Steel hollow sections shall be cold formed steel, manufactured to AS1163 having yield strength of 350 Mpa and designed in accordance with AS1538.

All exposed steelwork to be hot dipped galvanised to S.A.A.

TIMBER

Timber used in construction is to conform with the applicable current Australian standards.

Design of timber structures is in accordance with AS 1720.

Timber structures not located in an area subject to seismic activity or snow loads and where the design wind velocity calculated under AS 1170.2 does not exceed 42m/s shall be constructed in accordance AS1684.2.

All timber framing to comply with AS1684.

BRICKWORK

Clay bricks shall be used in accordance with AS 3700 and shall have a minimum compressive strength of 30 Mpa. Mortars shall be mixed in proportions of 1 part portland cement, 1 part hydrated lime or lime putty and 6 parts fine aggregate volume batched. To all brick walls provide 3mm stainless steel ties placed not further apart than 460mm x 610mm centres sloping downwards to the outside.

Provide Articulation or Expansion Joints at 6.0m ctrs max. and not exceeding 3.0m from any corner, and as per soil report recommendations.

GLAZING

All glazing shall be carried out in accordance with AS 1288. All glass sliding doors shall be clearly marked with safety markings. All framed glazing where the lowest sight line of the glazing panel is less than 500mm from the highest abutting finished floor level shall be Grade A safety glazing material in accordance with AS 1288 except that ordinary annealed glass may be used as follows:

Maximum glazing panel area

Up to and including 0.1 sq.m

Up to and including 0.3 sq.m

Up to and including 2.0 sq.m

All glazing to be standard nominal thick clear annealed unless shown otherwise on elevations.

Provide light and ventilation to the requirements of the B.C.A.

STEPS

All steps are to have a minimum tread width of 250mm and a maximum riser height of 190mm.

Selected balustrade to stairs or steps where required, 1000mm above landing min. 900mm above steps.

WET AREAS

To all wet areas provide ceramic tiles bonded to fully compressed fibre cement sheets or approved similar, to walls to a height not less than 1800mm around shower recesses measured from the lowest point of the shower base, and not less than 300mm above the rim of the bath, vanity, sinks and troughs.

Waterproofing of wet areas to comply with AS3740.

INSULATION

Unless noted otherwise, the following insulation is to be provided for the following types of floor:

Tiled Roof : Refer to energy rating report.

Ext.Walls : Refer to energy rating report.

Any sarking type material must have a flammability index of not more than 5.

SLAB

Provide cavity flashing from internal frame to external brickwork with bottom course weep holes @1000mm ctrs. *For slab on ground*.

Provide 75 x 110 G.I. Grilled vents @ 1.5m ctrs to sub-floor external wall. *For timber/concrete floor on strip footings.*

SMOKE ALARMS

Smoke alarm detectors, hard wired to switch board to conform with AS 3786.

THERMAL PERFORMANCE

Proposed dwelling must be constructed to minimise air leakages via roof, external walls, floors and openings such as windows, doors and the like.

Drafts must be restricted via exhaust fans, chimneys, flues, openable windows and other such openings must be fitted with a seal where practical to restrict air infiltration. (Seals must be constructed from a foam or rubber compressible strip, fibrous seal or the like).

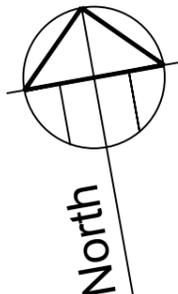
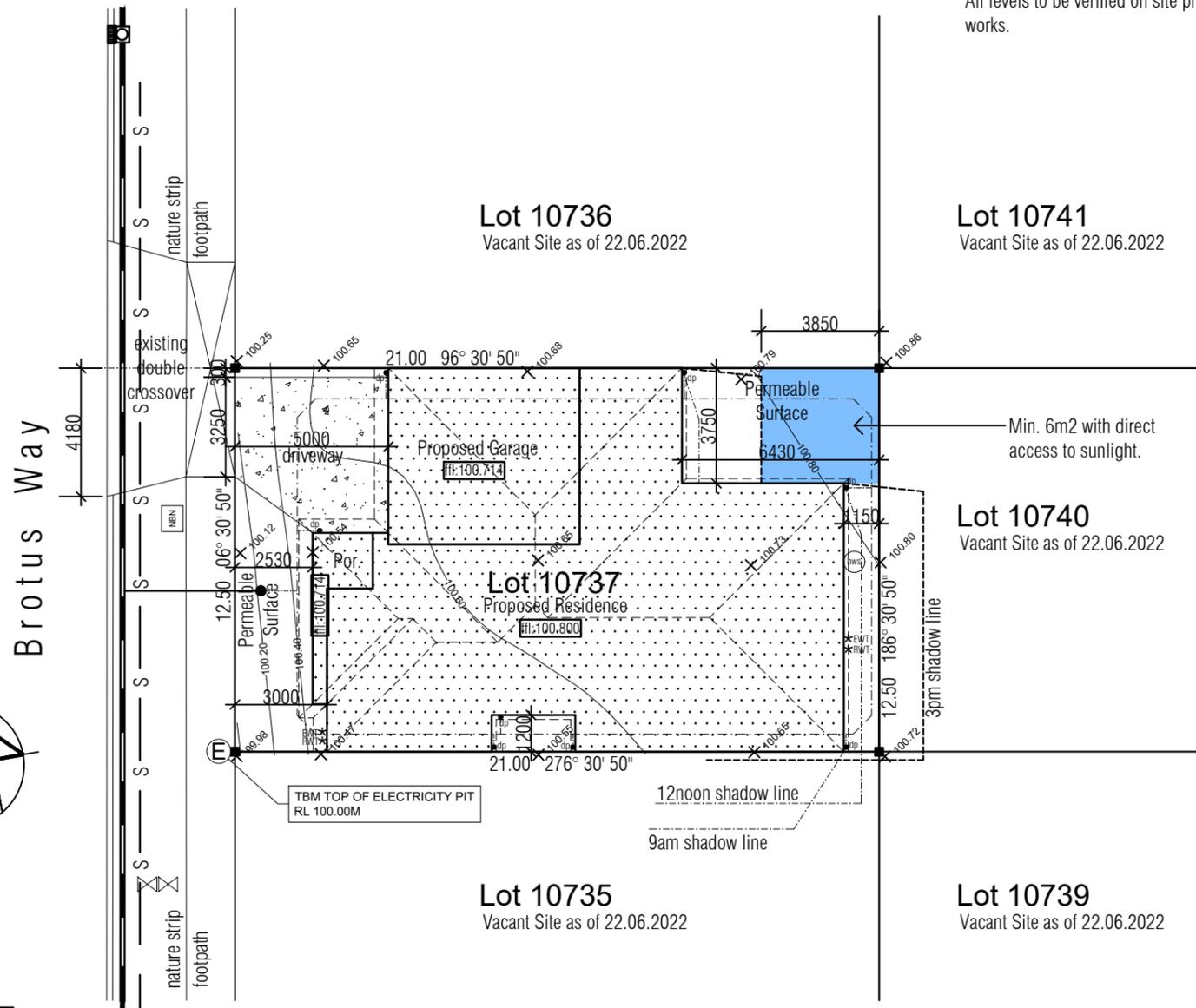
When servicing a conditioned space, all roof lights must be sealed or have the capability of being sealed.

All windows are assumed to meet AS2047 (Clause 2.1.3.5) and AS4420.4 on air infiltration. Check before ordering.



SOIL CLASSIFICATION: Refer to Soil Test by others.

All levels to be verified on site prior to commencement of any building works.



BUSHFIRE REQUIREMENTS
the site is not in a designated bushfire prone area and therefore is not subject to bushfire construction requirements.

PLEASE NOTE:
A minimum 2m high steel fence is to be provided to the full extent of the title boundaries throughout the duration of construction works.
Access to the construction area is to be restricted throughout the duration of works.

SITE AREAS:
SUBJECT SITE: 263 SQ.M
COVERED AREA: 179.42 SQ.M
SITE COVERAGE: 68.22%
SITE PERMEABILITY: 60.53 SQ.M

PLEASE NOTE:
Proposed dwelling must incorporate dual plumbing for the use of recycled water in toilet flushing and garden watering.

STORMWATER DRAINAGE REQUIREMENTS

- To be in accordance with BCA Part 3.5.2, AS/NZS 2179.1, AS 1273 for UPVC.
- All underground stormwater drains to be minimum 100mm. Class 6 UPVC at 1 in 100 minimum grade and be provided with the following coverage
- 100mm under soil - 50mm under paved or concrete areas - 100mm under concrete areas subject to light traffic.
- All gutters are to be Type B or E with a minimum grade of 1 in 100 to downpipes.
- All downpipes to be a minimum 90mm diameter, metal or UPVC and connect to the underground stormwater drainage system.

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acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings, are the drawings referred to in our Building Contract, between Everest Homes and myself/ourselves. I/We are fully aware that a Variation fee will occur if any further changes are made on these plans.
(Signed).....Date:.....
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Date:	Issue:	Amendment:	Date:	Issue:	Amendment:
June 22	A	ISSUE FOR DEVELOPERS APPROVAL			
Aug 22	B	ISSUE FOR CONSTRUCTION			
Aug 22	C	AMENDED AS REQUESTED BY THE BUILDING SURVEYOR			

THIS DOCUMENT IS THE SUBJECT OF -
BUILDING PERMIT NUMBER: CB5-U 66127/4943483/51282
ISSUED DATE: 26/08/2023
FOR INSPECTIONS & ENQUIRIES CALL (03) 9304 4412

Lot 10737 Brotus Way,
Donnybrook

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P: 9217 6405 F: 9217 6444

Scale: 1:200
Date: August 2022
Job.No: 3069

Drawing Title:
site plan

NOTE: Refer to Energy Rating Report for Insulation details.

All WC doors with clearance <1200 from pan to be readily removable, sliding or hinged outwards.

CJ : Denotes Control Joint to full height of brickwork. All joints to conform to note CN9 of the brickwork and concrete association. Information contained in the soil report regarding control joints takes precedence. Control joint width must not be less than 10mm.

NOTE: Pliable building membrane to comply with AS4200.1 and to be installed to AS4200.2 in accordance with Clause 3.8.7.2 of the NCC 2019.

NOTE: Roof stormwater drainage to comply with AS3500.3.

LEGEND	
	METER BOX
	GAS METER
	EXTERNAL WATER TAP LOCATION
	RECYCLED WATER LOCATION
	700mm X 560mm WIDE MANHOLE
	LIFT OFF HINGE DOOR
	DOWNSPIPE
	200mm HIGH BULKHEAD, UNLESS NOTED OTHERWISE (Nominal)
	450mmH x 450mmW NICHE AT 1100mm AFL. TO SHOWERS (UNLESS NOTED OTHERWISE).
	RAKED CEILING
	SKYLIGHT - 450mm DIAMETRE
	RAIN WATER HEAD
	NBN/PCD EXTERNAL CONNECTION POINT, MAX. 700mm IN HEIGHT.

Smoke Detectors to comply with AS3786 and interconnected to mains in accordance with BCA-Part 3.7.5.

Exhaust Fan.
Exhaust fan flow rates as per the clause 3.8.7.3 of NCC 2019.
Bathroom or Sanitary compartment -25L/s.
Kitchen or Laundry -40L/s.
Exhaust fans to be ducted to outside air.

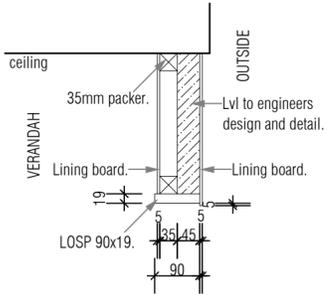
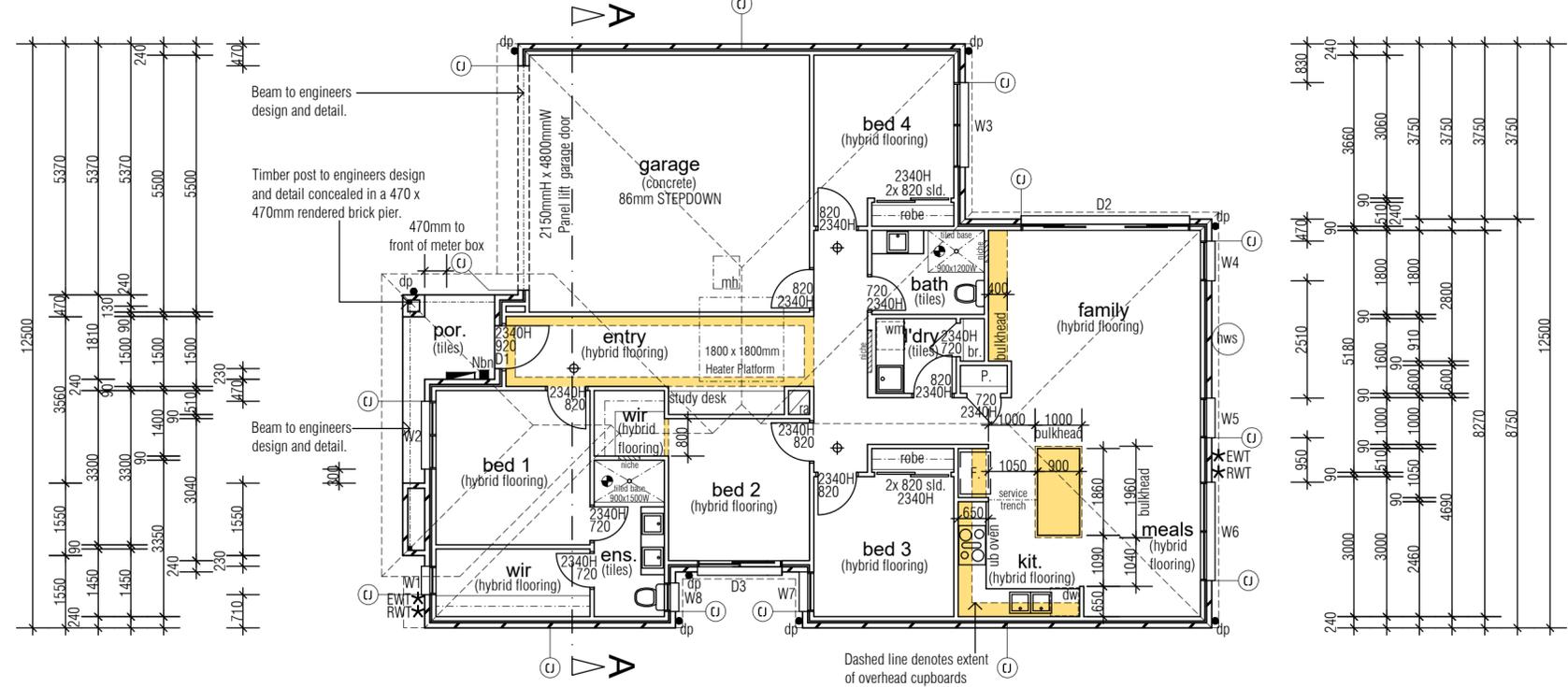
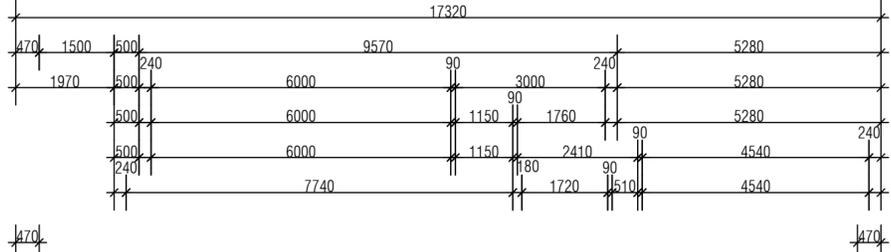
AREAS	
Residence:	138.28 sq.m (14.88 sqrs).
Porch:	5.33 sq.m (0.57 sqrs).
Garage:	35.81 sq.m (3.85 sqrs).
TOTAL:	179.42 sq.m (19.31 sqrs).

WET AREA DETAILS
All building elements in wet areas within a building must comply with AS3740.
Floors: All bathroom and laundry floors are to be cement sheet with waterproof membrane and tiles over. Provide waterstop to the extremity of wet area floor where openings occur in walls. Shower floors are to utilize preformed bases.
Walls: Shower walls are to be cement sheet with waterproof membrane and tiles over to a height of 1.8m. Where basin, baths and the like are located, provide a waterproof membrane with tiles to a height of not less than 150mm above the vessel.
Kitchen splashbacks: Waterproof membrane is to be provided to walls where kitchen sink and stove top is located, a 4mm toughened grade A safety glass splashback is to be installed over.

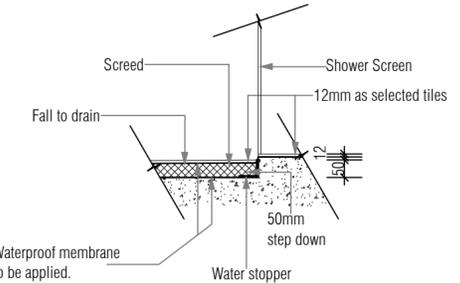
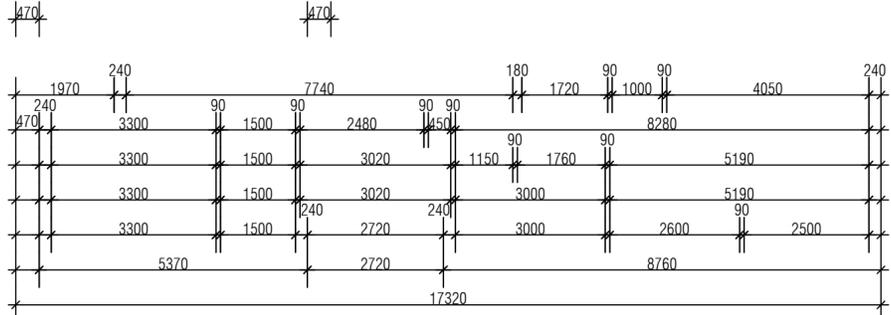
NOTE: Unless dimensioned door(s) and window(s) are to be centred to rooms and suit brick nominals (+ or - 50mm).

NOTE: Provide 50mm slab recess to shower bases.

NOTE: Provide Aluminium framed flyscreens and keyed locks to all openable windows.



LVL lining detail Scale 1:10



typical recessed shower detail scale 1:20

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Aug 22	B	ISSUE FOR CONSTRUCTION
Aug 22	C	AMENDED AS REQUESTED BY THE BUILDING SURVEYOR

THIS DOCUMENT IS THE SUBJECT OF -
BUILDING PERMIT NUMBER: C95-G-66127-4943483451282
ISSUED DATE: 25/08/2022
FOR INSPECTIONS & ENQUIRIES CALL (03) 9304 4412

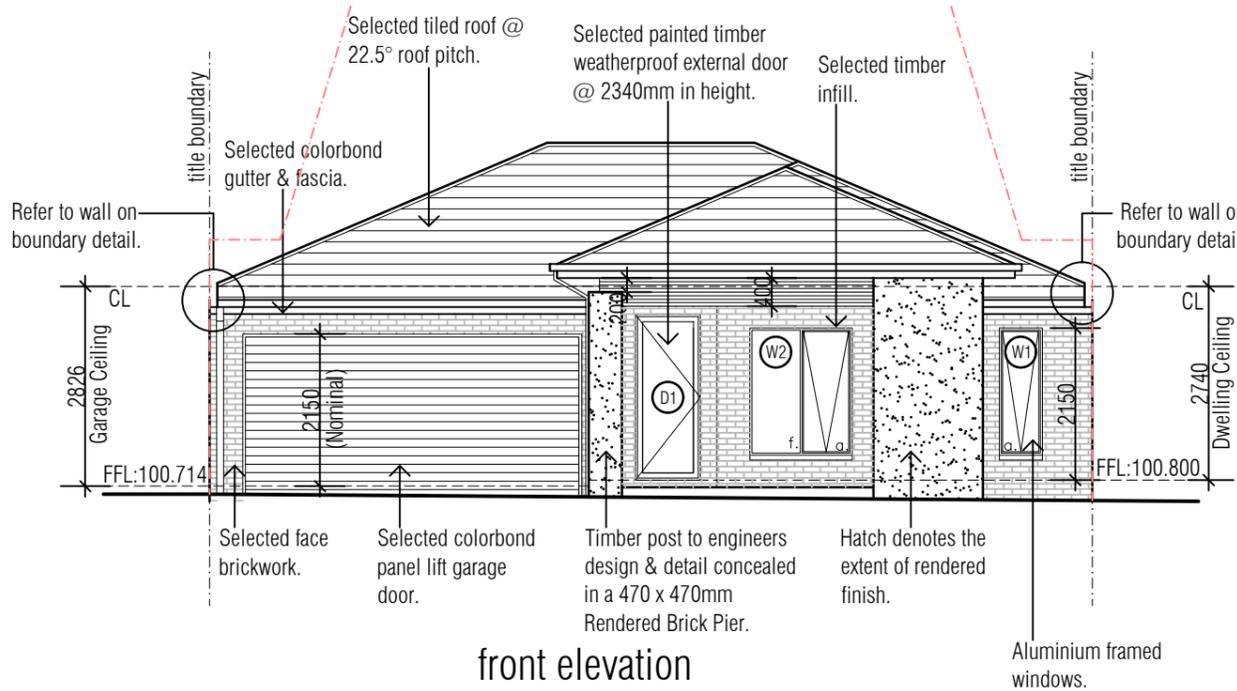
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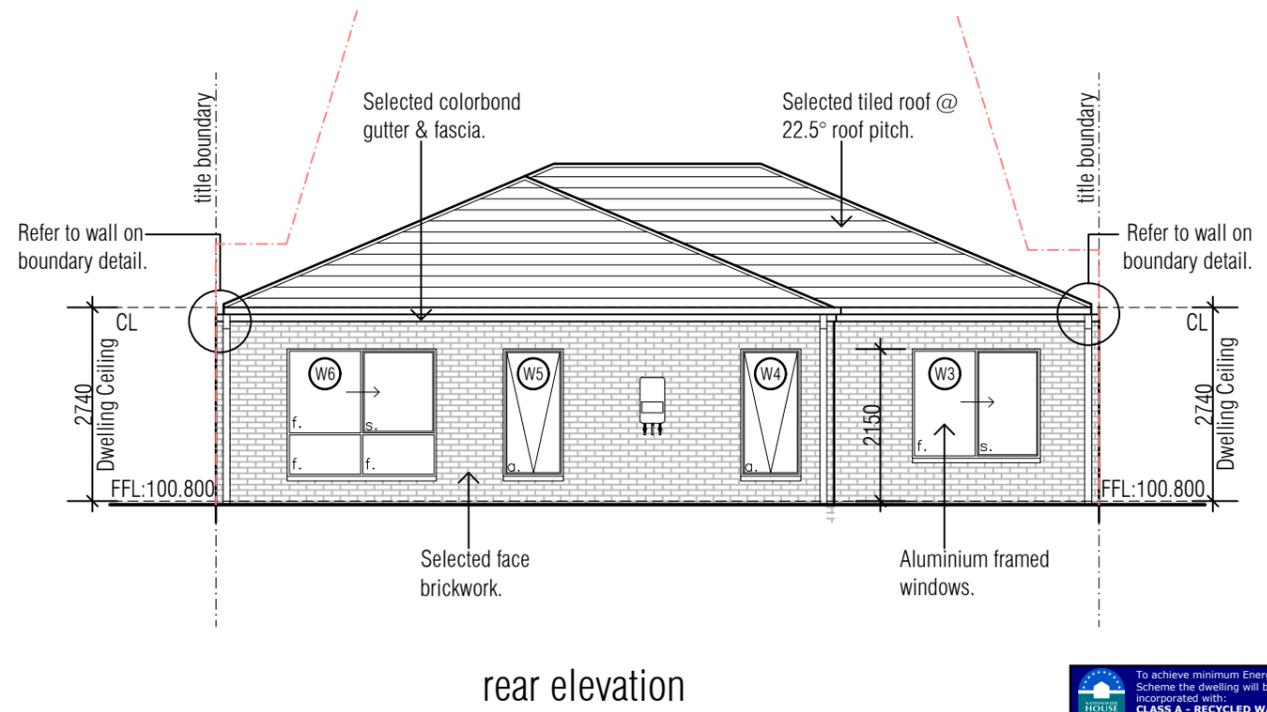
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Scale: 1:100	Date: August 2022	Job.No: 3069
Drawing Title:		
floor plan		

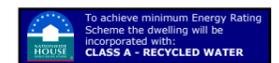
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front elevation



rear elevation



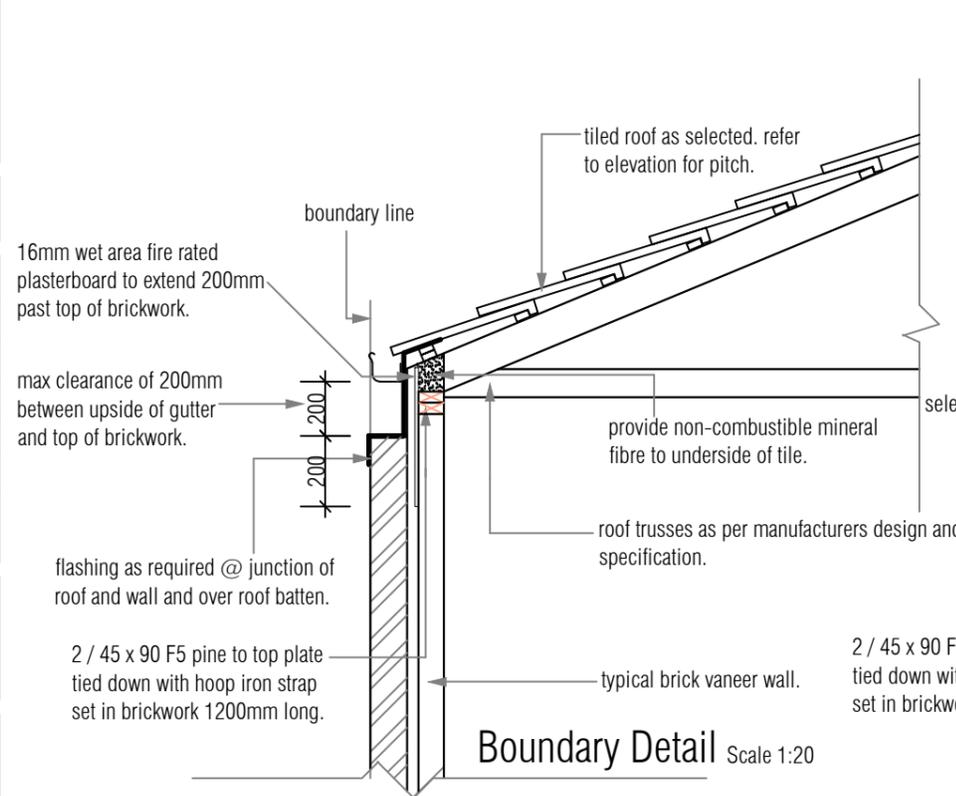
CJ : Denotes Control Joint to full height of brickwork. All joints to conform to note CN9 of the brickwork and concrete association. Information contained in the soil report regarding control joints takes precedence. Control joints not to have a width less than 10mm.

NOTE: Roof stormwater drainage to comply with AS3500.3.

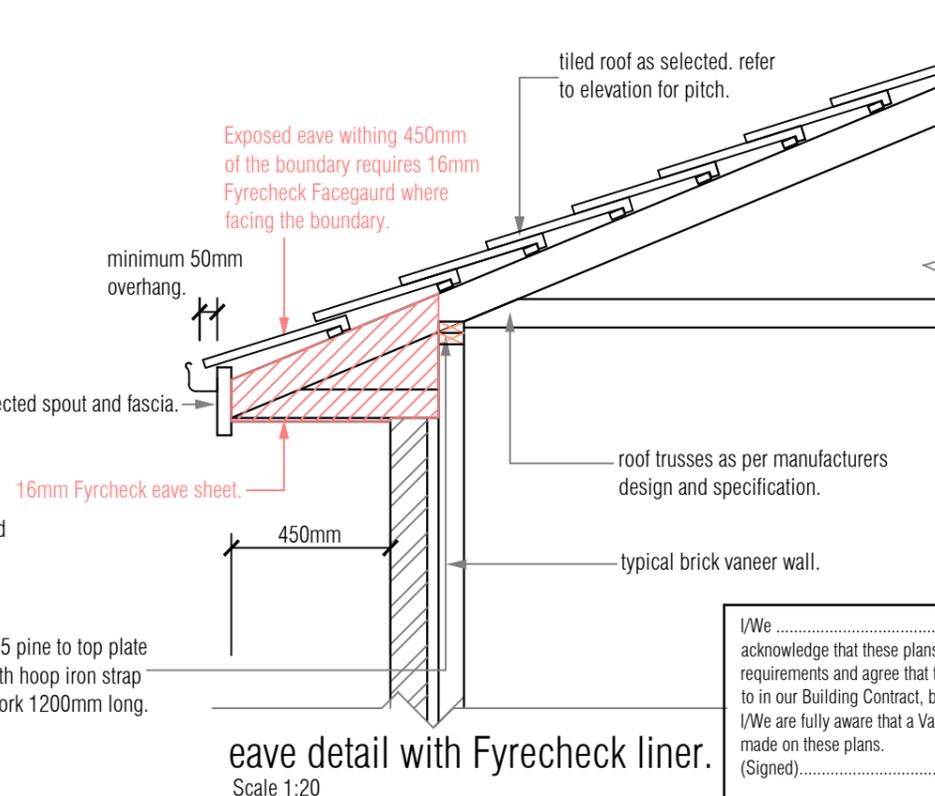
LEGEND	
CL	CEILING LINE
FL	FLOOR LINE
S	SLIDING WINDOWS
A	AWNING WINDOWS
F	FIXED GLASS WINDOWS
	OBSCURED GLAZING

NOTE: Pliable building membrane to comply with AS4200.1 and to be installed to AS4200.2 in accordance with Clause 3.8.7.2 of the NCC 2019.

THRESHOLDS
Thresholds to Porch will not exceed 230mm for doors leading to external areas (Porch, Verandah & Laundry Door).



Boundary Detail Scale 1:20



eave detail with Fyrecheck liner. Scale 1:20

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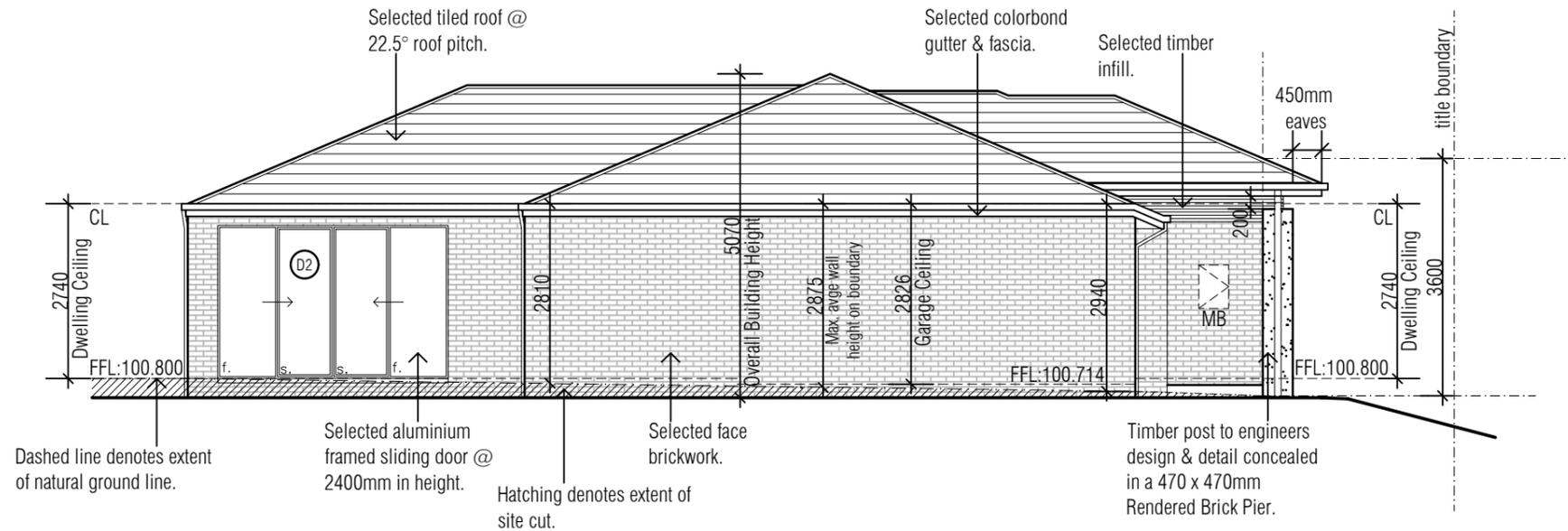
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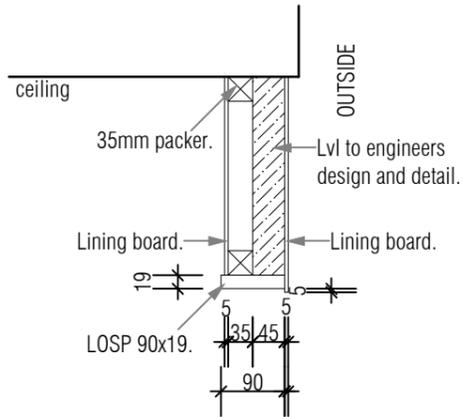
Drawing Title:
elevations

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 Control joint width must not be less than 10mm.

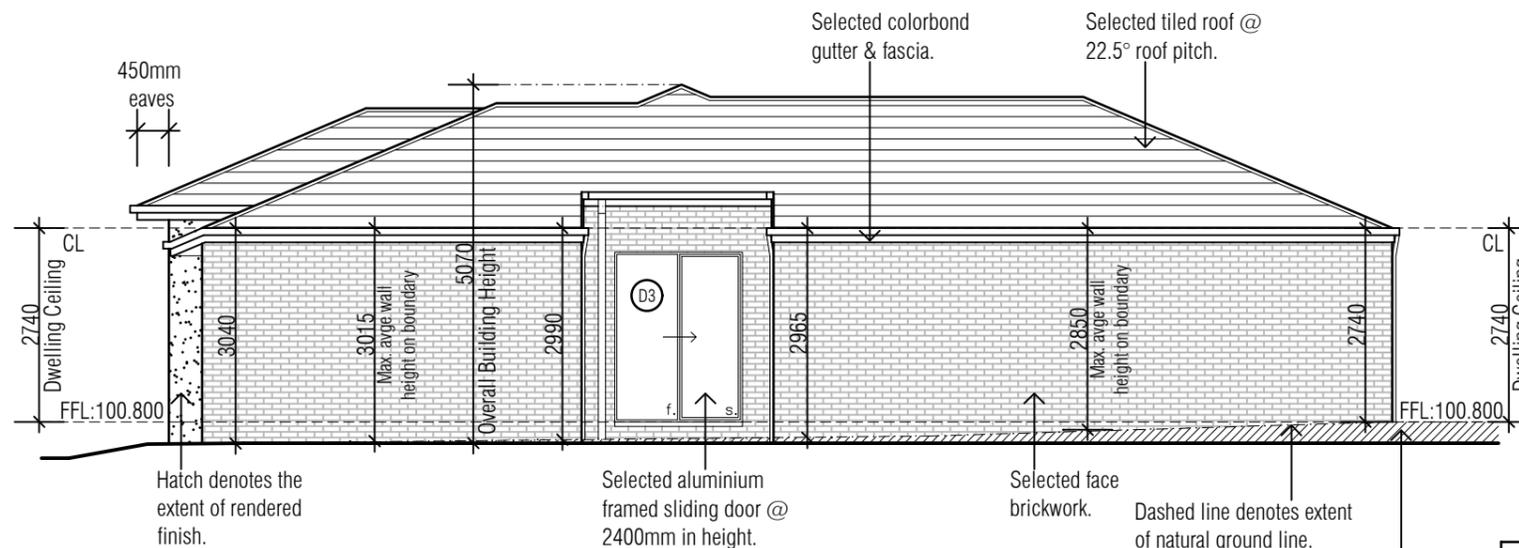
NOTE: Roof stormwater drainage to comply with AS3500.3.



side 1 elevation



LVL lining detail Scale 1:10



side 2 elevation

NOTE:
 Pliable building membrane to comply with AS4200.1 and to be installed to AS4200.2 in accordance with Clause 3.8.7.2 of the NCC 2019.

THRESHOLDS
 Thresholds to Porch will not exceed 230mm for doors leading to external areas (Porch, Verandah & Laundry Door).

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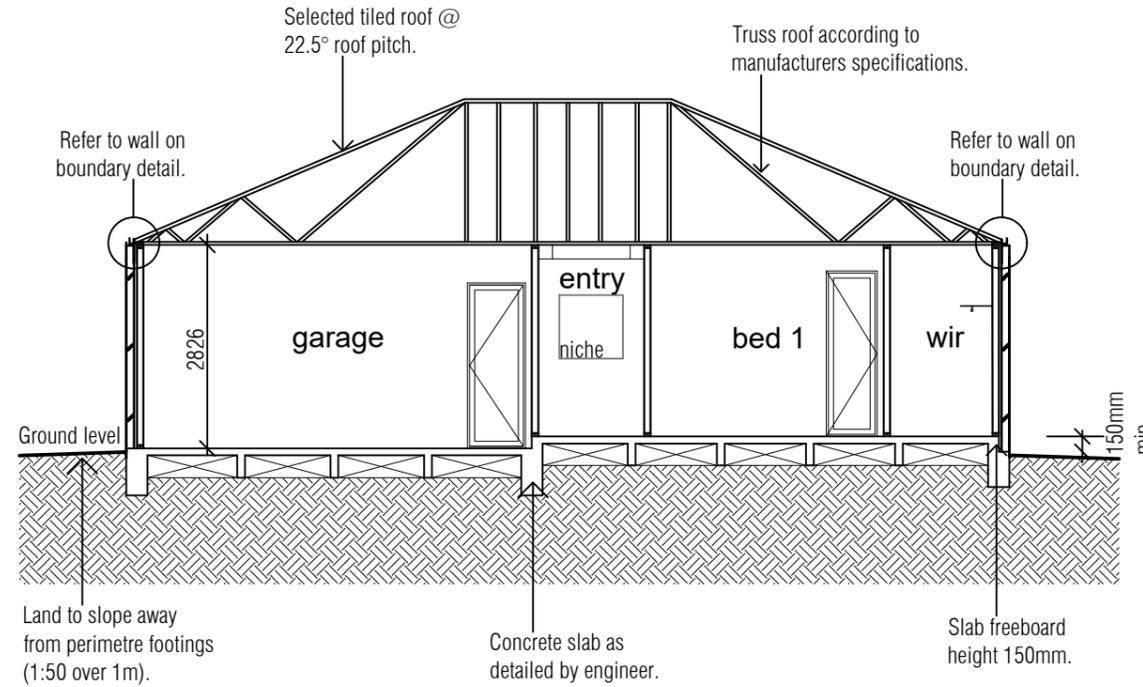
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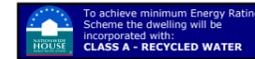
Drawing Title:

elevations

WINDOW / DOOR SCHEDULE				
ALL WINDOW(S) / DOOR(S) SIZES ARE FROM DOWELL WINDOWS				
No.	LOCATION	WINDOW / DOOR SIZE (H x W)	OPENING TYPE	GLAZING TYPE
W1	WIR	1800mm x 610mm	Awning	SG 3mm Grade A Safety Glass
W2	Bed 1	1800mm x 1450mm	Awning	SG 3mm Grade A Safety Glass
W3	Bed 4	1543mm x 1810mm	Sliding	SG 3mm
W4	Family	1800mm x 850mm	Awning	SG 3mm Grade A Safety Glass
W5	Family	1800mm x 850mm	Awning	SG 3mm Grade A Safety Glass
W6	Meals	1800mm x 2110mm	Sliding	SG 3mm
W7	Bed 3	1800mm x 850mm	Awning	SG 3mm Grade A Safety Glass
W8	Ensuite	1027mm x 610mm	Awning	SG 3mm Grade A Safety Glass / Obscured
D1	Entry	2340mm x 920mm	Solid Door	-
D2	Family	2400mm x 3610mm	Sliding Door	SG 5mm Grade A Safety Glass
D3	Bed 2	2400mm x 1810mm	Sliding Door	SG 5mm Grade A Safety Glass



section a:a



GENERAL NOTES

All windows adjacent to baths within 1.5m and all sliding doors to be safety glass to AS.1288. Floor to ceiling heights may alter due to floor covering materials chosen by owner, builder or contractor. All wc doors to have lift off hinges. If the threshold sill of a door is greater than 190mm above the finished surface of the ground to which the doorway opens, a landing shall be provided no less than the width of the doorway.

GLAZING SCHEDULE

Glass to windows and doors shall be fitted in accordance with the following table and as required by the Australian Standards 1288 - 1994.

	Windows					
Maximum Glass Area (m).	0.9	1.3	2.0	2.8	4.0	7.1
Glass Thickness (mm).	3	4	5	6	8	10
	Doors					
Maximum Glass Area (m).	0.4	0.5	0.7	1.1	2.0	3.0
Maximum Glass Thickness (mm).	3	4	5	6	8	10

TIMBER FRAMING SCHEDULE

The sizes of timber members and types shall be in accordance with the approved working drawings, the B.C.A and A.S. 1684 - Light Timber Framing Manual. It shall generally conform of the following:

Top Plates	2/90 x 45 MGP10
Bottom Plates	90 x 45 MGP10
Studs up to 2.7	90 x 35 MGP10 @ 450 ctrs
Studs up to 3.0	90 x 45 MGP10 @ 450 ctrs
Jamb Studs	90 x 45 MGP10

INSULATION REQUIREMENTS

- All insulation to abut or overlap adjoining insulation or supporting members.
- Must form a continuous barrier with floors, ceilings, walls or the like that inherently contribute to the thermal barrier.
- Must not affect or effect operation of a domestic service or fitting.
- Reflective insulation must be installed with the necessary airspace between reflective side and building lining.
- Reflective insulation to be closely fitted to penetration and openings and adequately supported by framing members.
- Reflective insulation to be overlapped by 150mm or taped together.
- Bulk insulation to maintain in position and thickness other than at roof battens, pipes and cables.
- In a ceiling, where there is no bulk insulation or reflective insulation in the external wall beneath, the reflective insulation must overlap by no less than 50mm.

NOTE:
Soil Classification: Refer to Soil Report test by others.

NOTE:
Sarking to be provided as per the requirements outlined in table 3.5.2.2. of the NCC 2019.

Sarking-type materials used in the roof must have a flammability index not greater than 5.

3.5.2.4 Sarking

Sarking must—

- be provided in accordance with Table 3.5.2.2; and
- comply with AS/NZS 4200.1 and be installed with—
 - each adjoining sheet or roll being—
 - overlapped not less than 150 mm; or
 - taped together; and
 - sarking fixed to supporting members at not more than 300 mm centres; and
 - no sags greater than 40 mm in the sarking.

Table 3.5.2.2 Sarking requirements for tiled roofs

Roof pitch	Maximum rafter/truss top chord length without sarking (mm) ^{Note 1}
<18°	N/A ^{Note 2}
>18° <20°	4 500
>20° <22°	5 500
>22°	6 000

Notes to Table 3.5.2.2:

- The maximum rafter/truss top chord length is measured from the topmost point of the rafter/truss i.e. the apex downwards. Where the maximum length is exceeded, sarking must be installed over the remainder of the rafter/truss top chord length towards the eave line of the roof, or equivalent where the building has no eaves.
- All tiled roofs with a pitch less than 18 degrees must be provided with sarking, regardless of rafter/truss chord length.

TIMBER FRAMING REQUIREMENTS

- All timber framing must be in accordance with AS 1684.
- The below is to be read in conjunction with any engineering plans and documents. Engineering requirements to take precedent.
- Bottom plates to be min 45x90 MGP10.
- Top plates to be min 2/45x90 MGP10.
- Common studs to be 90x45 MGP10.
- Direct support for Girder Trusses to be 2/90x45 MGP10 stud nail laminated and fastened with 4/90x3.05mm nails through bottom plates. Where required provide blocks to floor space and continue double studs through lower level framing.

GENERAL ENERGY EFFICIENCY REQUIREMENTS

- Construction must be in accordance with the Energy Rating Report.
- Wall Insulation (Refer to Energy Rating Report).
- Ceiling Insulation (Refer to Energy Rating Report).
- Chimneys or flues of solid fuel burning appliances must be provided with a damper or flap that can be closed/sealed when not in use.
- Roof lights in a conditioned space are to be provided with an imperforate ceiling diffuser, a weatherproof seal or a shutter system.
- Windows and doors in a conditioned space or habitable room must comply with AS2047, be sealed against air infiltration or be provided with weather strips and draft protectors.
- Exhaust fans to be provided with self sealing dampers and ducted to outside.
- Roofs, external walls, external floors must be constructed to minimise air leakag, all lining junctions to be close fitting and be sealed by caulking/skirting, architraves, cornices or the like.
- Evaporative coolers must be fitted with a self closing damper.

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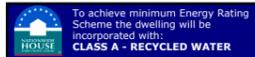
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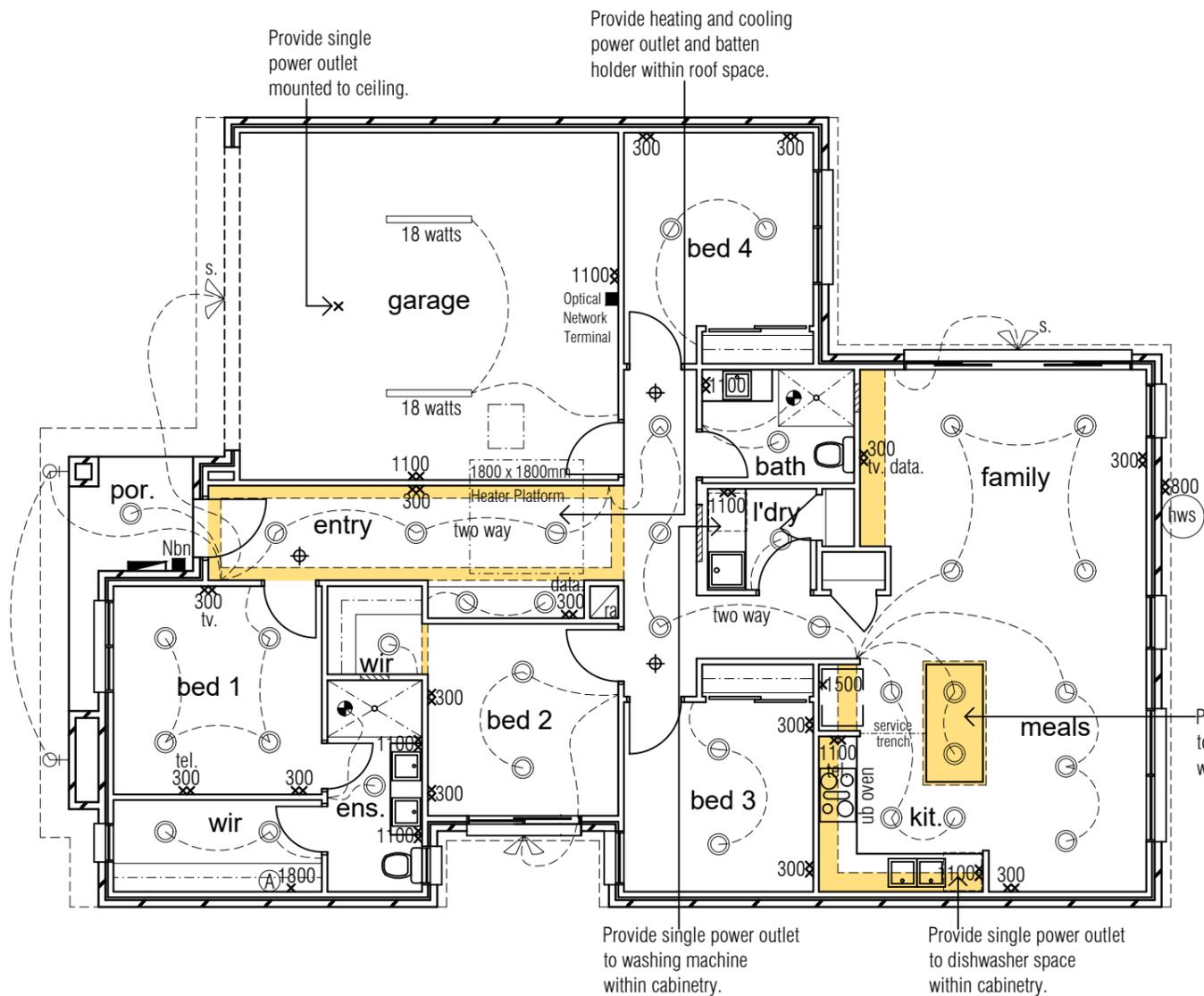
Scale: 1:100 Date: August 2022 Job.No: 3069

Drawing Title:
section a:a



NOTE: additional to the lighting plan an allowance needs to be made for:
 - a single power point to oven
 - a single power point to rangehood
 - a double power point in the ceiling space for central heating & cooling system
 - a batten light in ceiling space with switch near manhole

- DOWNLIGHT
- Ⓟ PENDANT LIGHT POINT
- Ⓟ BATTEN HOLDER
- Ⓐ BUILDERS RANGE ALARM
- ⊙ EXTERNAL LIGHT (with 'S' has sensor)
- ⊙ WALL LIGHT
- ⊙ DECKING LIGHTS
- FLUORESCENT LIGHT
- tel TELEPHONE POINT
- tv TELEVISION POINT
- ✕ CEILING FAN
- ⊙ REFRIDGERATED COOLING & DUCTED HEATING
- DUCTED HEATER RETURN AIR (CEILING MOUNTED)
- EVAPORATIVE COOLING DUCT
- ⊗ DOUBLE POWER POINT
- IXL 3 in 1



⊙ Smoke Detectors to comply with AS3786 and interconnected to mains in accordance with BCA-Part 3.7.5.

⊙ Exhaust Fan.
 Exhaust fan flow rates as per the clause 3.8.7.3 of NCC 2019.
 Bathroom or Sanitary compartment -25L/s.
 Kitchen or Laundry -40L/s.
 Exhaust fans to be ducted to outside air.

METRE BOX NOTE:
 Metre box to be installed at a nominal height of 1100mm above FFL to the bottom of the metre box.

Note:
 Heating and cooling points are indicative only. Subject to site conditions and manufacturers specs and recommendations.

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ARTIFICIAL LIGHTING CALCULATIONS						
Artificial lighting to comply with NCC 2019 The lamp power density or illumination power density of artificial lighting, excluding heaters that emit light, must not exceed the following: (1) In a Class 1 building, 5W/m ² (2) On a verandah or balcony attached to a Class 1 building, 4W/m ² (3) In a Class 10 building, 3W/m ²						
LOCATION	Size m ²	Maximum wattage allowed				
Class 1 building, 5W/m ²	138.28	691.4				
Verandah or Balcony attached to a Class 1 building, 4W/m ²	5.33	21.32				
Class 10 building, 3W/m ²	35.81	107.43				
Note: Artificial lighting around the perimeter of a building must: (1) be controlled by a daylight sensor or (2) have an average light source efficiency of not less than 40 Lumens/W						
PROPOSED POWER USAGE FOR ARTIFICIAL LIGHTING						
LOCATION	NO.	TYPE	WATTS	PROPOSED WATTS	TOTAL WATTS	MAX WATTS
RESIDENCE	37	DOWNLIGHTS	10	370	370	691.4
	0	BATTEN HOLDERS	28	0		
	0	PENDANT LIGHTS	10	0		
	0	EXHAUST FAN, HEAT & LIGHT UNIT	13	0		
PORCH/VERANDAH	1	DOWNLIGHTS	10	10	10	21.32
	0	BATTEN HOLDERS	28	0		
GARAGE	0	DOWNLIGHTS	10	0	36	107.43
	0	BATTEN HOLDERS	28	0		
	2	FLOURESCENT TUBES	18	36		
				416	820	
Is this electrical plan compliant? YES						

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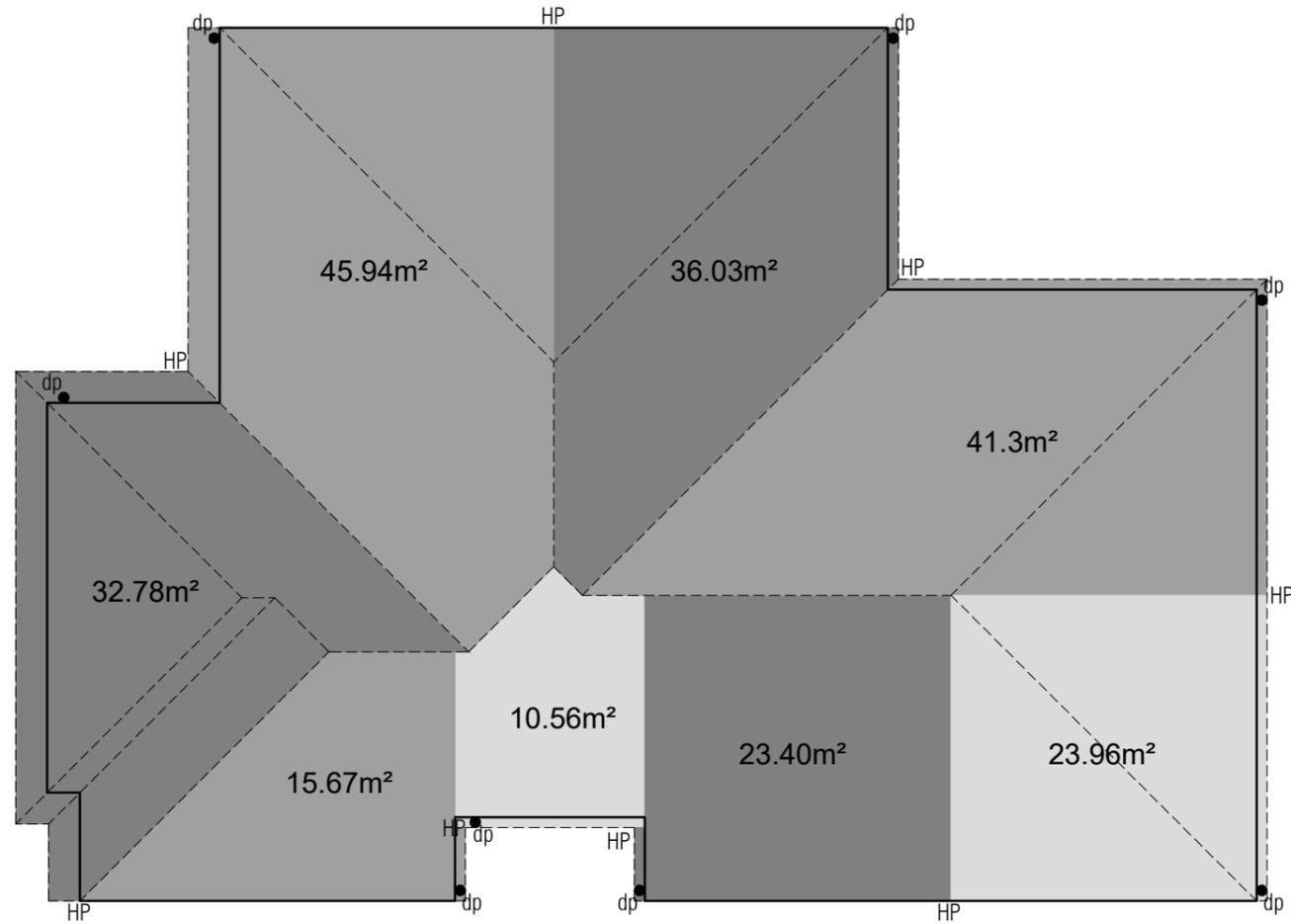
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Scale: 1:100 Date: August 2022 Job.No: 3069
 Drawing Title: **electrical layout**

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ROOF DRAINAGE CALCULATION IN ACCORDANCE WITH AS3500.3
 DWELLING & ATTACHED GARAGE
 Roof Area: 189.77 sq.m @ 22.5° Roof Pitch
 Roof Catchment Area: 189.77 X 1.21 = 229.63sq.m

Proposed guttering has a cross-sectional area of 0.70L/s/m and will be installed with a slope of 1 in 500.
 Minimum No. of downpipes = Roof catchment area divided by allowable maximum catchment per downpipe.
 $229.63 / 47 = 4.88$
 5 No. of downpipes required.
 Minimum downpipe size is 100 x 50 or 90mm.
 Quad 115 Hi-front XL Slotted gutter.

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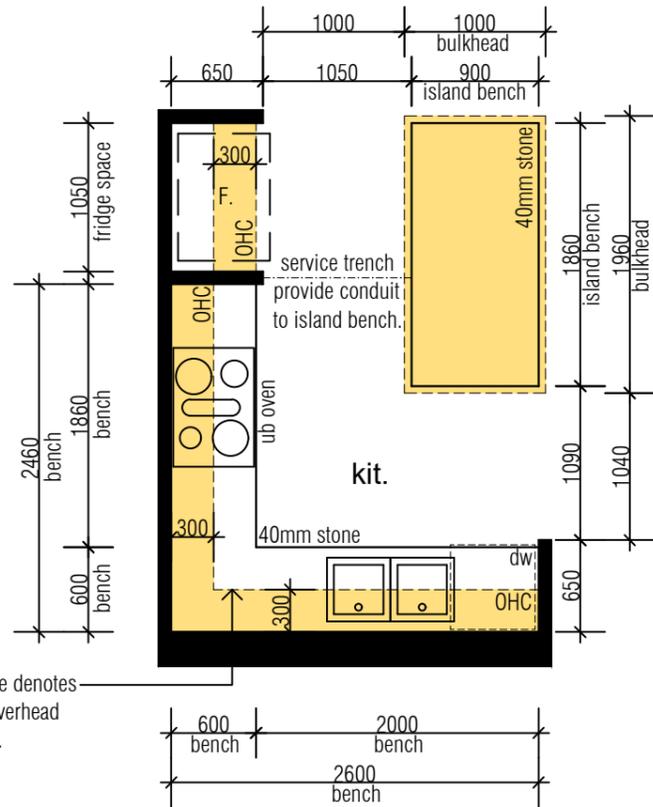
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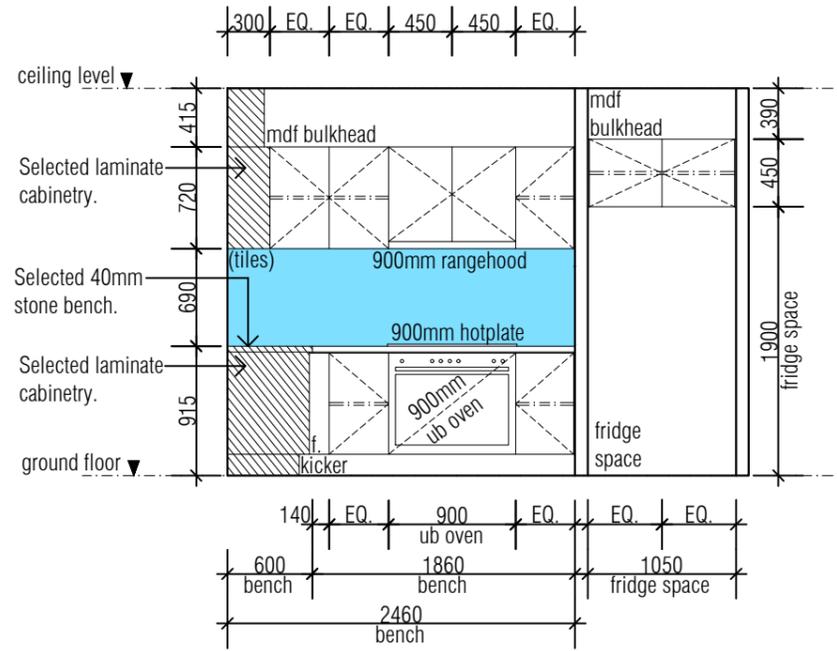
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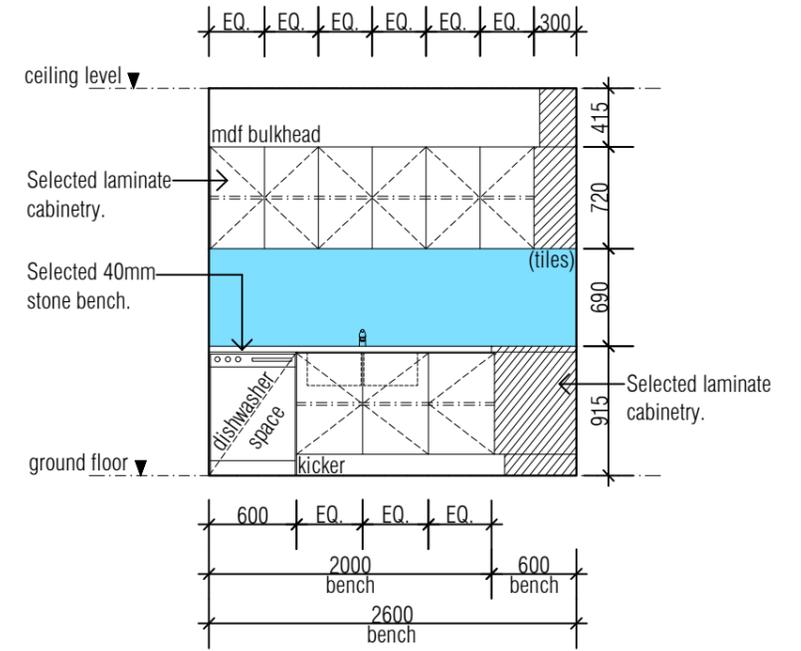
Scale: 1:100	Date: August 2022	Job.No: 3069
Drawing Title: roof catchment drainage plan		



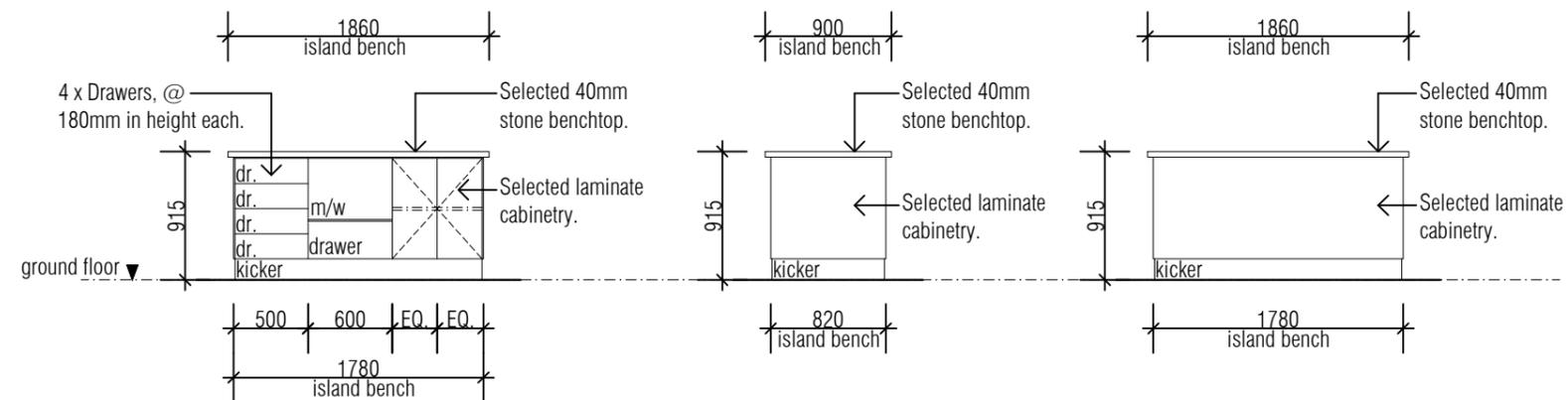
A. plan detail - Kitchen



kitchen elevation (1)



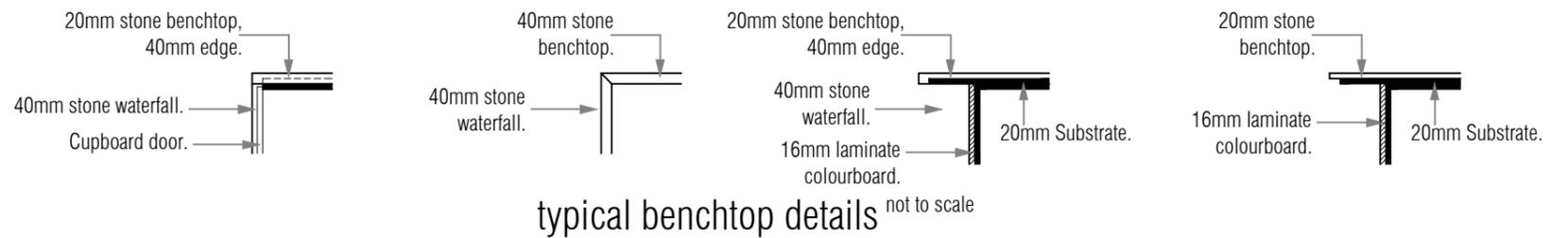
kitchen elevation (2)



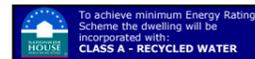
kitchen elevation (3)

kitchen elevation (4)

kitchen elevation (5)



- NOTE: Kitchen bench 915mm high.
- NOTE: Heights are approximate only and may vary with the cabinet maker drawings.
- NOTE: Joinery elevation dimensions are nominal only and further clarification will be available via the cabinet maker. Refer to detailed cabinet maker drawings for accurate dimensions.
- NOTE: All appliances, drawers and doors to be clear of any obstructions eg. architraves, skirts etc.
- NOTE: All tile heights to be confirmed prior to any works.
- NOTE: Externally vented rangehood.



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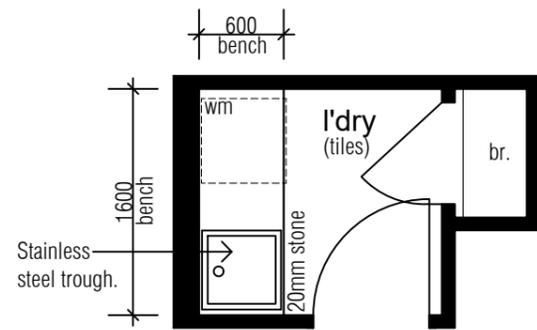
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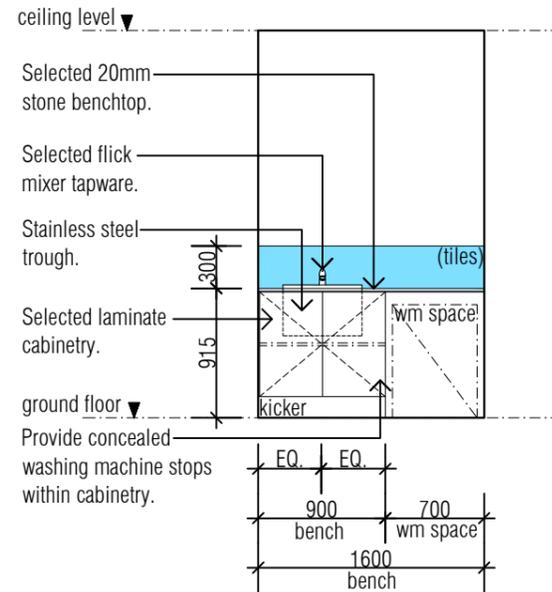
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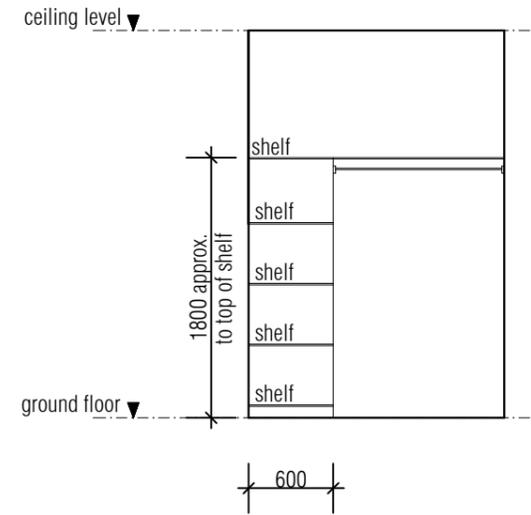
Drawing Title:
 joinery documentation



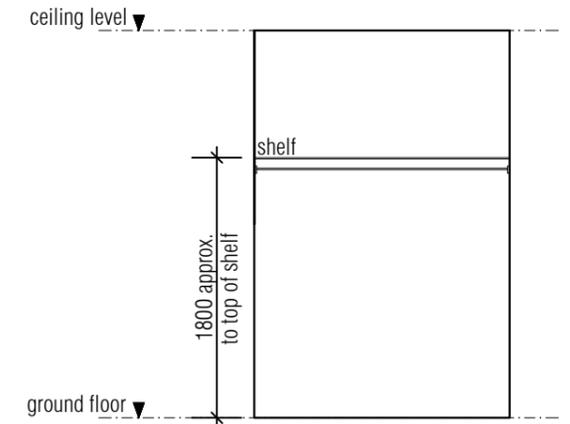
B. plan detail - Laundry



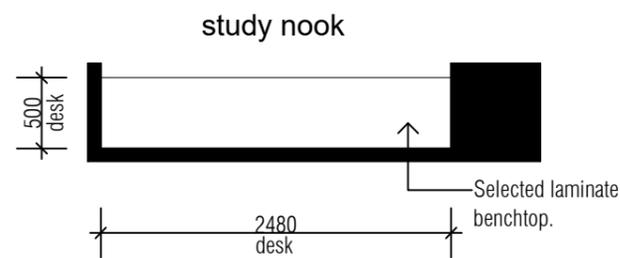
laundry elevation (1)



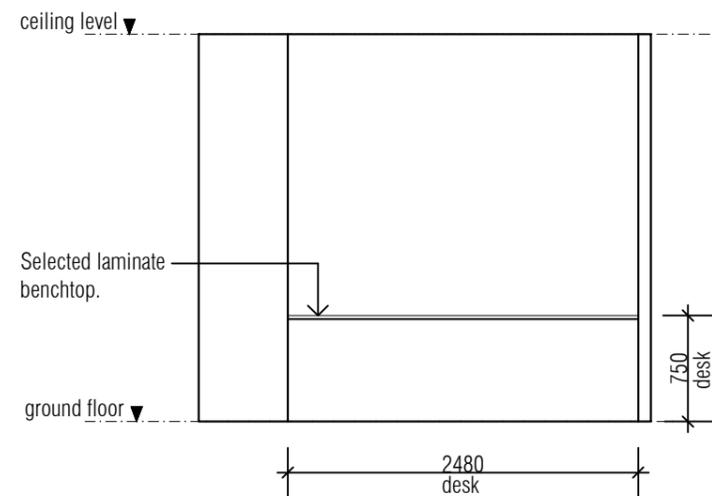
typical robe layout - Bed 1



typical robe layout



C. plan detail - Study Nook



study nook elevation (1)

- NOTE: Laundry bench 915mm high.
- NOTE: Heights are approximate only and may vary with the cabinet maker drawings.
- NOTE: Joinery elevation dimensions are nominal only and further clarification will be available via the cabinet maker. Refer to detailed cabinet maker drawings for accurate dimensions.
- NOTE: All tiles heights to be confirmed prior to works.
- NOTE: 100mm tiled skirting to laundry.

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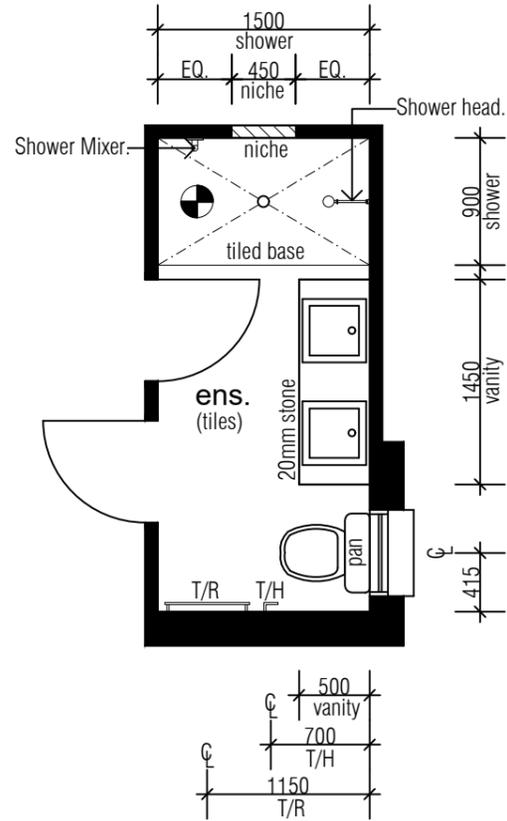
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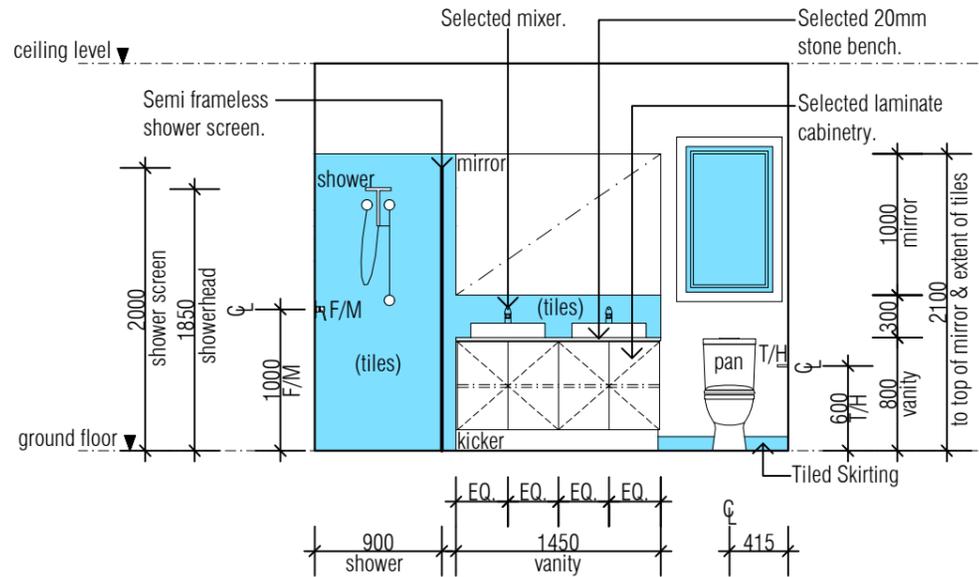
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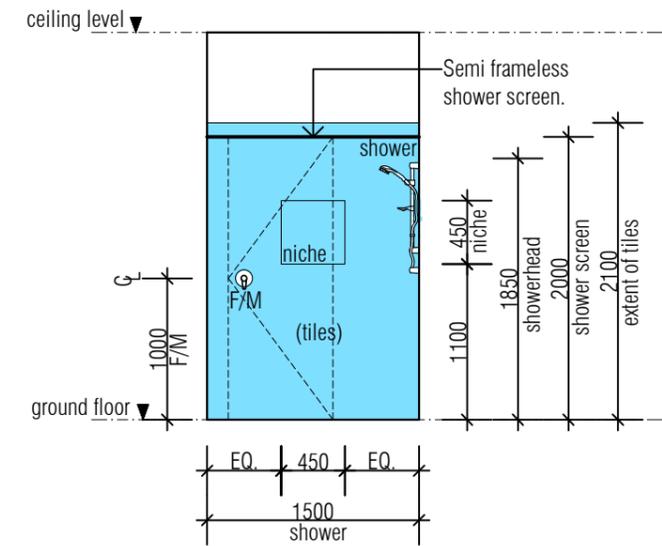
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 joinery documentation



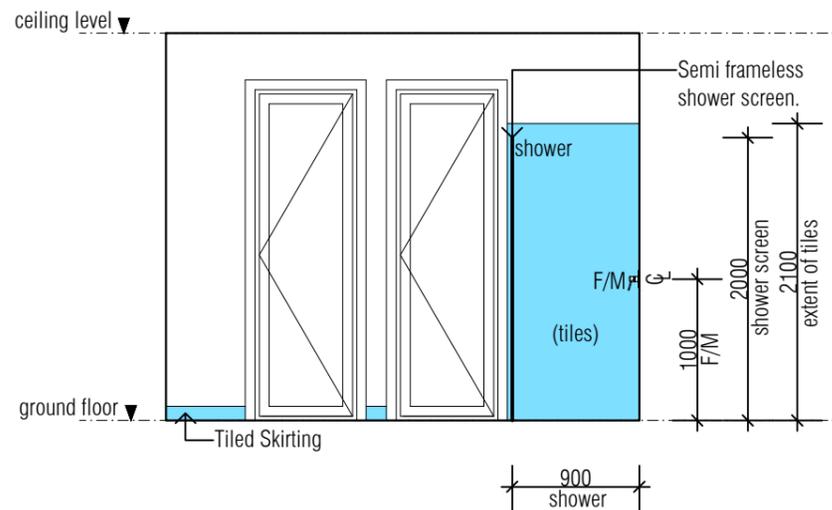
D. plan detail - Ensuite



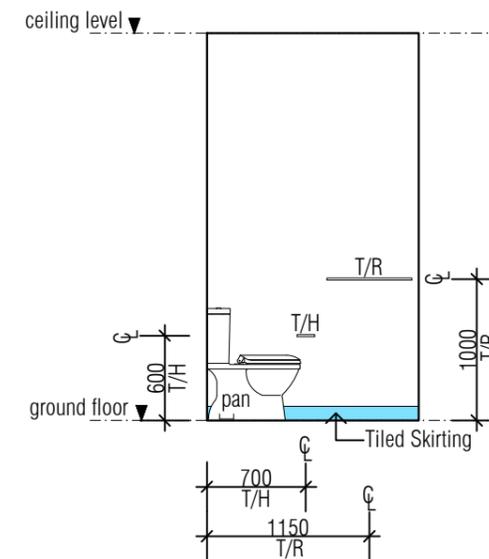
ensuite elevation (1)



ensuite elevation (2)



ensuite elevation (3)



ensuite elevation (4)

NOTE: Heights are approximate only and may vary with the cabinet maker drawings.

NOTE: Joinery elevation dimensions are nominal only and further clarification will be available via the cabinet maker. Refer to detailed cabinet maker drawings for accurate dimensions.

NOTE: All tiles heights to be confirmed prior to works.

NOTE: Vanity unit heights 800-900mm high.

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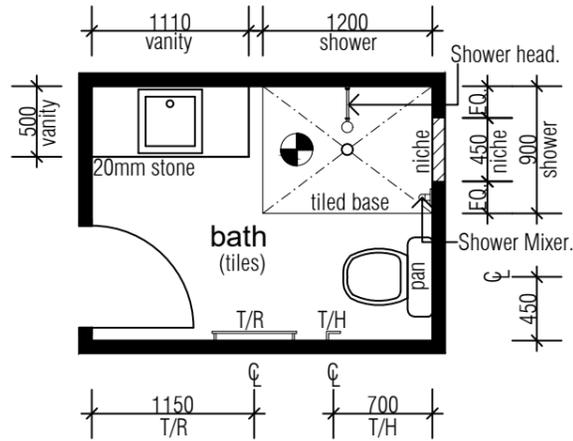
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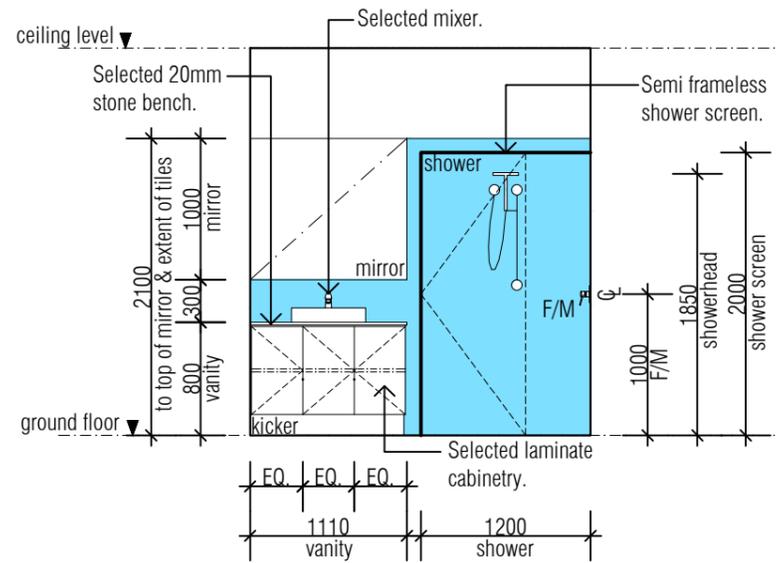
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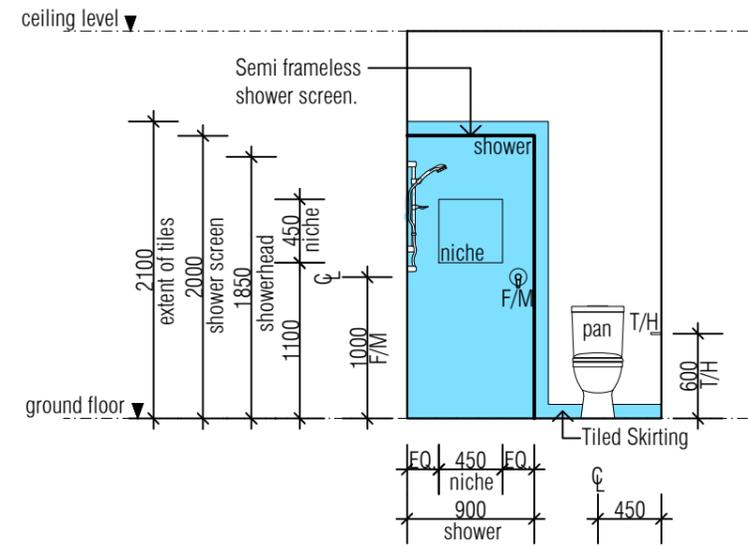
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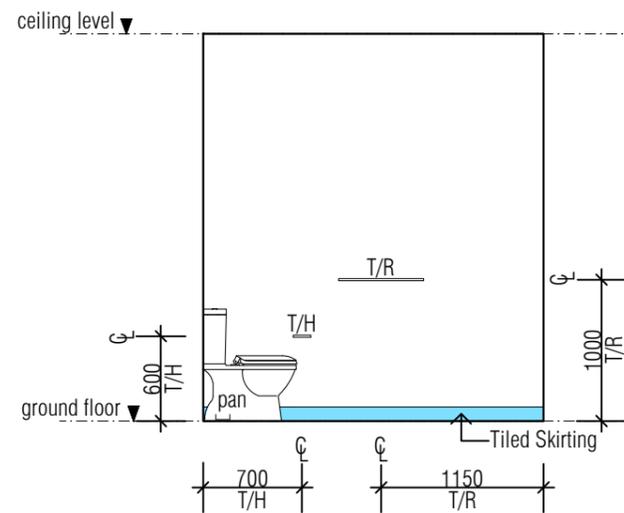
E. plan detail - Bathroom



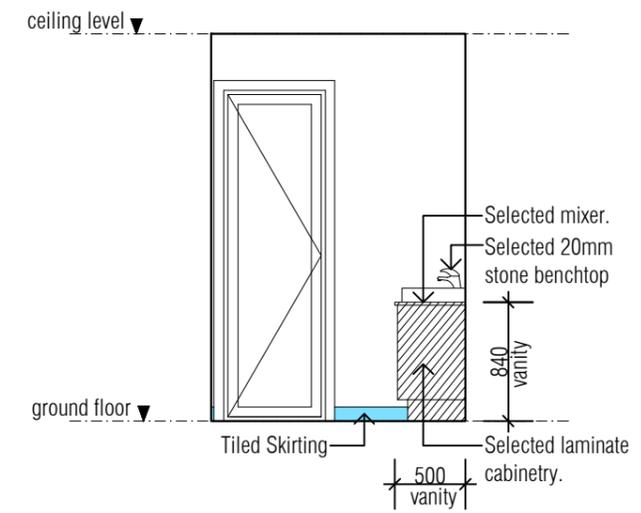
bathroom elevation (1)



bathroom elevation (2)



bathroom elevation (3)



bathroom elevation (4)

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